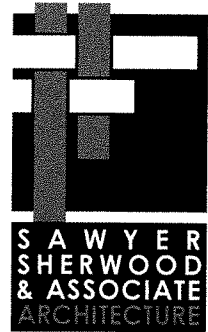


Brunswick County Courthouse
Change Order #2

July 22, 2021



1. Vehicle Gate: Change to separate gates with one gate controlling ingress, and a separate gate controlling egress. **\$80,884.00**
2. Courtroom #5 (juvenile court) **\$87,337.00**
This change includes:
 - a. Major plan revisions to courtroom 5.
 - b. Juvenile justice plan revision in the reception area.
 - c. Revisions to the conference rooms serving courtroom 5
 - d. Revisions to the courtroom entrance.
3. Courtroom #6 (large Superior Courtroom) revisions. **\$40,993.00**
This change includes:
 - a. The deliberation room, judges chambers and hallway access are all changed to provide more direct access from the courtroom.
 - b. The judges bench is revised to add visibility of all access routes up onto the bench.
4. Third Floor revisions. **\$49,010.00**
This change includes:
 - a. Revisions to the District Court Judges office suite adding an administrative assistants office and reducing the public waiting area.
 - b. Revisions in the District Attorney Office suite to create a single occupant gender neutral restroom by renovating to re-purpose an existing shower in the women's restroom
 - c. Adding a partition and door allowing an open work space to become a private office.
5. First floor electrical circuit rebuilding. **\$15,051.00**
Existing conduit and wiring method routes power feeds concealed under the slab and up through partitions to above ceiling boxes where branch circuits are tied in. Walls that concealed this wiring method are being removed. The feeders must be rebuilt overhead above ceiling back to the power panels.

The architect and consulting engineers have reviewed the proposals, the contractor made adjustments and provided additional information based on the review resulting in the proposals recommended.

Submitted by John R. Sawyer
project architect

Allowance Reduction Proposal



Wilmington
Raleigh
Charleston

208 Princess
Wilmington, NC 28401
P: 910-791-8101
monteithco.com

Date: 7.20.21

Project: Brunswick County Courthouse Addition & Renovations

Owner Address: 310 Government Center Drive, NE
Bolivia, North Carolina 28422

ARP #: 119 Rev 1

Proposal includes all labor, material, and equipment cost associated with revised vehicle gate and hardscapes outlined in RFP 36. Note, Carolina Creations number is a placeholder due to their Estimator being out with Covid. Reference Frye Fencing proposal for deduct option included in this proposal to modify existing gate and operator. Coordination, details, and finish expectations to be discussed and approved by OAC prior to modifications of gate taking place.

<u>Subcontractor</u>	<u>Proposal Total</u>
<u>Frye Fencing</u>	<u>\$64,100.00</u>
<u>TA Woods</u>	<u>\$4,632.00</u>
<u>Carolina Creations</u>	<u>\$8,300.00</u>
<u>N/A</u>	<u>\$0.00</u>
TOTAL SUBCONTRACTS	<u>\$77,032.00</u>
5% GC FEE	<u>\$3,851.60</u>
TOTAL CHANGE AMOUNT	<u>\$80,883.60</u>

Sincerely,

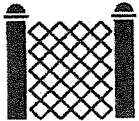
Matt Brittan

Matt Brittan

Monteith Acceptance

Owner Acceptance

MONTEITH
CONSTRUCTION CORP.
RALEIGH | WILMINGTON



FRYE FENCE CO., INC.
3221 Durham Drive Suite 115
RALEIGH, NC 27603

Phone (919) 779-4700
Fax (919) 779-7667

TO: Monteith

PROPOSAL

PHONE _____ DATE 07/07/21

JOB NAME / LOCATION
Brunswick County Court House

CHANGE ORDER

JOB NUMBER _____ JOB PHONE _____

We hereby submit specifications and estimates for:

I. Take out existing auto gate. Furnish and install two new 13' auto gates.

- 2 operators
- 2 buckeye gates
- 3 loop detectors
- 2 photo eyes

Concrete: \$5,000.00
Material: \$46,000.00
Labor: \$18,000.00
Equipment Rental: \$5,000.00

\$74,000.00
-13,000
\$61,000

*Deduct \$13,000.00 from above proposal to:

- Modify existing gate and operator.
- Furnish and install one new auto gate.

\$61,000
\$3,100
Total: \$64,100

II. Take out and relocate 50' of existing fencing (ornamental).

Furnish and install approximately 30' of new fencing to match existing. \$3,100.00

Materials: \$1,600.00
Labor: \$1,500.00

*Due to the unpredictability of the domestic steel market, we can only honor this quote for eight days. We apologize for the inconvenience.

WE PROPOSE hereby to furnish material and labor — complete in accordance with the above specifications, for the sum of:

dollars (\$ _____).

Payment to be made as follows:

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Worker's Compensation insurance.

Authorized
Signature

Note: This proposal may be
withdrawn by us if not accepted within

days.

ACCEPTANCE OF PROPOSAL — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: _____

Signature _____

Signature _____

TA Woods Response

John Sawyer, AIA
President



124 Market Street
Wilmington, NC 28401
910 762-0892
s2a3.com

From: Mark Ciarrocca <mciarrocca@cheathampa.com>

Sent: Friday, July 16, 2021 1:00 PM

To: john sawyer Architect <john@s2a3.com>

Subject: FW: Brunswick County Courthouse - ARP's 119, 123, 125, and 128

John,

Comments:

ARP 119:

		Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equip
SCOPE								
1	conduit, fittings, trenching	140	LF	\$2.39	\$335.00	0.207	29.00	
3	boxes, covers, devices	1	Ea	\$27.00	\$27.00	2.000	2.00	

1. Conduit we see added was about 30' of ¾" and 30' of 1" between the two gate control cabinets. Additional trenching should be less than 30'. Quantities and proposed costs appear high. we see 132' of 1" PVC between the gate controllers and from the new gate controller to the key pad, we have the stub ups that may not be accounted for
2. Wire we see added was 2#12 in a 150' homerun and 3#12 in 40' connection between control cabinets. #12 proposed as \$0.30/ft MAT in ARP 116 and 0.01/ft LAB. Quantities and proposed costs appear high. we priced #10 wire for the homerun due to the distance, additionally, with wire already installed we will have to pull out the green ground using that as a pull string and attach the hot, neutral and replacement ground, In addition we scale approx. 382 from gate controller to panel this will require 3 500' rolls of wire.

ARP 128:

To: **Monteith Construction**
Attn: Matt Brittain

08-Jul-21

Re: **Brunswick County Courthouse**
Addition & Renovation

Electrical

From: **TA Woods Company**
Mechanical/Electrical Contractors
ECPR-40R1 Vehicle Gate Revisions

Provide and install additional circuit for added gate operator. Provide and install PVC conduit from existing gate controller to new gate controller location, provide and install PVC conduit from new gate controller to key pad. Cutting, patching, repairing of asphalt, concrete, other surfaces by others. Gate pedestal provided and installed by others. Keypad, keypad wiring, provided and installed by others.

1	Materials	\$	1,112.00	
2	Company Owned Equipment and/or Rental	\$	39.38	see attachment
3	Expendables	\$	19.95	(.35 cents per man-hour)
4	Subtotal	\$	1,171.33	
5	Sales Tax	\$	77.84	7.00%
A.	Direct Cost Subtotal	\$	1,249.17	
Man-Hours				
6	Journeyman / Mechanic	\$	1,550.00	50.00
7	Crew Foreman	\$	238.00	7.00
8	Subtotal	\$	1,788.00	
9	Safety 1st - productivity burden	\$	35.76	(2% of labor)
10	Labor Taxes, Insurance and Fringe Benefits	\$	715.20	40%
B.	Labor Cost Subtotal	\$	2,538.96	
11	Total Cost (A+B)		\$3,788.13	
12	Field & Office General Administrative Cost		\$568.22	15%
13	Subtotal		\$4,356.34	
14	Profit		\$217.82	5%
C.	T.A. Woods Total Change		\$4,574.16	
Subcontractors				
15				
16				
17			\$0.00	
18			\$0.00	
19	Subcontractor Subtotal		\$0.00	
20	Profit		\$0.00	15%
D.	Subcontractors Total Change		\$0.00	
E.	BOND	\$	57.63	1.26%
F.	TOTAL CHANGE (C+D)		\$4,632.00	

Due to fluctuations in commodity pricing and scheduling pricing only valid for 5 days
Extension of time requested: 2 calendar days.

7/8/2021
Pete Browne, Electrical Project Manager Date

Brunswick County Courthouse
ECPR-40R1
Vehicle Gate Revisions

7/8/2021

		Quant	Unit	Price	Material Total	Labor Unit	Labor Hours	Equip
SCOPE								
1	conduit, fittings, trenching	140	LF	\$2.39	\$335.00	0.207	29.00	
2	wire, terminations	1500	LF	\$0.50	\$750.00	0.013	19.00	
3	boxes, covers, devices	1	Ea	\$27.00	\$27.00	2.000	2.00	
4			LF	#DIV/0!		#DIV/0!		
5			LF	#DIV/0!		#DIV/0!		
6			LF	#DIV/0!		#DIV/0!		
7			Ea	#DIV/0!		#DIV/0!		
8			LF	#DIV/0!		#DIV/0!		
9								
10								
Sub Totals					\$1,112.00		50.00	0.00
11 MISC								
	Labels - Phenolic		Each	\$	-			
Sub Totals					\$			
12 Direct Supervision (Crew Foreman)								
		0	LS			7.14	7.00	\$39.38
13 "Just in Time Placement & Handling"								
	Loading & Unloading -	0	lbs			0.030	0.00	
	Loading & Unloading - Roof	0	lbs			0.040	0.00	
	Materials Handling - Lull		LS				0.00	
Sub Totals							0.00	39.38
14 Rentals								
			Weekly					
	Excavator		\$75.00					\$0.00
	Skid Steer		\$600.00					\$0.00
	Tamps		\$265.00					\$0.00
	Delivery and P/U		\$225.00					\$0.00
			\$200.00					\$0.00
Sub Total								\$0.00
15 Totals								
					\$1,112.00		50.00	\$39.38



WORK ORDER

Date: 7/16/2021

Salesperson: JE

SHIP TO:

Brunswick County Courthouse
Change Order

BILL TO:

Monteith Construction
Wilmington, NC

QTY	DESCRIPTION	PRICE	AMOUNT
	<p>Scope of work to include:</p> <p>* Saw cut asphalt and replace (approx. 120 ft²) Saw cut concrete curb and replace (approx. 16')</p> <p>Includes labor, material, and equipment for installation.</p> <div style="border: 1px solid black; padding: 10px; margin: 10px 0;"> <p>Originally plugged 9K while estimator was out with Covid.</p> </div>		\$8,300.00
<p>Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.</p>		Total	\$8,300.00

Authorized Signature _____

Date _____

Allowance Reduction Proposal



Wilmington
Raleigh
Charleston

208 Princess
Wilmington, NC 28401
P: 910-791-8101
monteithco.com

Date: 7.21.21

Project: Brunswick County Courthouse Addition & Renovations

Owner Address: 310 Government Center Drive, NE
Bolivia, North Carolina 28422

ARP #: 116 R.1 - RFP 29

Proposal includes all labor, material, and equipment cost associated with RFP 29 Courtroom 5 Revisions.

Time Extension and General Conditions are required, but excluded from the proposal and will be submitted once a start date is provided. Scope is priced for normal working hours. Temporary zip walls are included in pricing, but full partitions are excluded based on start date.

<u>Subcontractor</u>	<u>Proposal Total</u>
<u>Arrowood R.1</u>	<u>\$3,300.00</u>
<u>Paul Barbour & Son</u>	<u>\$1,271.00</u>
<u>CCF R.1</u>	<u>\$4,376.00</u>
<u>Duncan Paint</u>	<u>\$2,775.00</u>
<u>East Coast Access</u>	<u>\$10,522.35</u>
<u>Allied Fire Protection</u>	<u>\$6,163.00</u>
<u>Grey Interiors</u>	<u>\$9,186.53</u>
<u>Rivers Plumbing R.1</u>	<u>\$2,685.00</u>
<u>Standard Glass</u>	<u>\$7,324.24</u>
<u>TA Woods Mechanical R.1</u>	<u>\$23,160.28</u>
<u>TA Woods Electrical R.1</u>	<u>\$10,789.00</u>
<u>MCC R.1</u>	<u>\$1,626.06</u>
<u>N/A</u>	<u>\$0.00</u>
TOTAL SUBCONTRACTS	<u>\$83,178.46</u>
5% GC FEE	<u>\$4,158.92</u>
TOTAL CHANGE AMOUNT	<u>\$87,337.38</u>

Allowance Reduction Proposal

Sincerely,

Matt Brittan

Matt Brittan

Monteith Acceptance

Owner Acceptance

MONTEITH
CONSTRUCTION CORP.
RALEIGH | WILMINGTON



Brunswick County Courthouse – Bolivia, NC

Change Order for RFP29 – (Courtroom 5 Modifications Only)

Looking at RFP 29 vs the Original Architectural Drawings, there doesn't appear to be any added Linear footage of diewall, just the layout has changed. Changing the Layout has produced many additional mitered corner joints which is more difficult than a square corner. Pre-measure will be much more extensive, along with installation. Changing the Layout also means our engineer will have to re-engineer and draw out this entire area.

This pricing also includes Office 2131A Laminate Transaction Countertop Top.

Finished Materials

- (1) Laminate Transaction Countertop
- Total: \$400.00

Engineering

- \$60.00 Per Man hours
- 10 Hours
- Total: \$600.00

Project Management

- Extra time on site laying out entire elevation on floor
- 1 Day - \$300.00

Installation

- 2 Additional installation days
- Total: \$2,000.00

Grand Total: \$3,300.00



Bettina Acosta

From: Matthew Brittan
Sent: Monday, July 19, 2021 7:07 AM
To: Bettina Acosta
Subject: FW: Brunswick County Courthouse: Revising RFP 29, 32 & 33

Print to PDF and this will be the response to this portion to be included in our R1 submission.

Thanks,

Matt Brittan
Project Manager
M: 808.354.1757
O: 910.791.8101



From: Carl Hathcock <chathcock@arrowoodmfg.com>
Sent: Friday, July 16, 2021 4:01 PM
To: Bettina Acosta <bacosta@monteithco.com>; Daniel Hart <dhart@monteithco.com>; Matthew Brittan <mbrittan@monteithco.com>
Cc: jimyeatts@yahoo.com; jeudy arrowoodmfg.com <jeudy@arrowoodmfg.com>
Subject: RE: Brunswick County Courthouse: Revising RFP 29, 32 & 33

For Courtroom 5 Revisions - RFP29 - By changing the layout it has created additional mitered corners throughout. Which also means all the base and profile for the base has to be mitered as well, which takes additional time. Lining up all these miters, leveling and securing them is a difficult challenge and it takes a well paid, detail ordained installer to complete and have look decent. I'm not taking any amount of money off of the RFP29 for installation, to be honest, I want to add more to it. This same explanation can be found at the top of the proposal I sent. Plus we have to scribe our countertop around a column.

For Courtroom 33 - Courtroom 6 Revisions - Adding in an extra 25LF of diewall and a gate takes time to install, and it adds extra trim to be installed as well. Again, I'm not taking off any monies to accommodate them.

I believe my pricing to be very fair, and I guarantee that the installation will take longer than what I have before and what I added.

I'm not trying to be a tyrant, but I can't do anything on this. If I had over priced it, I would come off of the price some, but I think its very fair.

thanks, I hope everyone has a great weekend.

On July 15, 2021 4:24 PM Bettina Acosta <bacosta@monteithco.com> wrote:

CHANGE ORDER

PAUL BARBOUR & SON, INC.

Acoustical Ceiling and Commercial Flooring Contractors

P.O. Box 1129

Fuquay-Varina, North Carolina 27526

Telephone (919) 552-0747

Telefax (919) 552-0646

Attn:	Graham Smith	Date:	6/30/21
Project:	Brunswick County Courthouse	Estimator:	Bryan Barbour
Location:	Bolivia, NC	Change Order -	#8

Work Description

Price is to add grid work per RFP 29

Labor - \$ 620.00

Material - \$ 651.00

Note: This revision becomes part of, and in conformance with, the existing contract.

We Agree hereby to make changes as specified above, for a Price of: \$ Add \$ 1,271.00
Change Order Work outside the contract documents WILL NOT be Performed and Materials will not be procured until Written Notification is issued to Paul Barbour & Son, Inc.

Verbal request by a Contractor's employee in the field Does Not Constitute Approval of changes in the work to the Original Contract Documents.

Accepted: The above prices and specifications of this Change Order are satisfactory and are hereby accepted. All work to be performed under same terms and conditions as specified in the original Subcontract/PO and becomes part of the existing Subcontract/PO.

Company Name:

Company: Paul Barbour & Son, Inc.

By: _____

Name: _____

Title: _____

Date: _____

By: _____

Name: Bryan Barbour

Title: Vice President

Date: 10/22/2020

****Execute and return authorized Change Order to Paul Barbour & Son, Inc. to initiate Change Order work to be performed. Change Order will remain pending until official written documentation is received by Paul Barbour & Son, Inc.**

Bettina Acosta

From: Bryan Barbour <bryanb@pbarbourandson.com>
Sent: Monday, July 12, 2021 10:02 AM
To: Matthew Brittan
Cc: Bettina Acosta
Subject: Re: RFP 29 Pricing - Brunswick Courthouse

The area around 2073 and the 2058 corridor added grid that was supposed to be tile only.

On Wed, Jul 7, 2021 at 3:21 PM Matthew Brittan <mbrittan@monteithco.com> wrote:

Bryan – Which rooms created the add on ceiling tile. Were there any deducts? Owner will ask.

Thanks,

Matt Brittan

Project Manager

M: 808.354.1757

O: 910.791.8101



--
Bryan Barbour
Vice President/Safety Director
Paul Barbour & Son, Inc.
p: 919-552-0747 m: 919-815-5372
f: 919-552-0646
a: P.O Box 1129, Fuquay Varina, NC 27526
e: bryanb@pbarbourandson.com



2918 ORVILLE WRIGHT WAY • WILMINGTON, NC 28405
Phone (910) 343-3350 • Fax (910) 343-4131
www.ccfloorcovering.com

July 6, 2021

Monteith Construction
208 PRINCESS STREET
Wilmington, NC 28401

Re: BRUNSWICK CO COURTHOUSE
Bid # Q0004138 CO- 006
RFP#29

Dear : Matt

Thank you for the opportunity to submit the following proposal for the above referenced project.

Scope of Work:

VCT	VINYL COMPOSITION TILE (VCT) in Corridor #2057 & #2061	675.00	SF	@	2.00	\$1,350.00
RB	RUBBER BASE (RB)	240.00	LF	@	1.65	\$396.00
CPTL	CARPET TILE (CPT) color Mineral #2031A, 2128, & enlarged 2124	55.00	SY	@	36.00	\$1,980.00
Floor Prep	FLOOR PREP skim Coat Floor	1,000.00	SF	@	0.65	\$650.00
Total Price						\$4,376.00

Notes:

1) No demolition of existing flooring included.

* * *


I hope you find this proposal complete and to your satisfaction.

Sincerely, Chris Brock

Revision Requests:

- 1) Remove Carpet in 2031A: +/- 150 SF (Deduct)
- 2) Add Carpet in Vestibule 2075: +/- 50 SF (Add)
- 3) Change Floor Finish in 2076 and 2074 to LVT: +/- 200 SF

RE: Brunswick Courthouse - Revised Pricing



Chris Brock <chris@ccfloorcovering.com>
To: Matthew Brittan
Cc: Bettina Acosta

Reply Reply All Forward ...

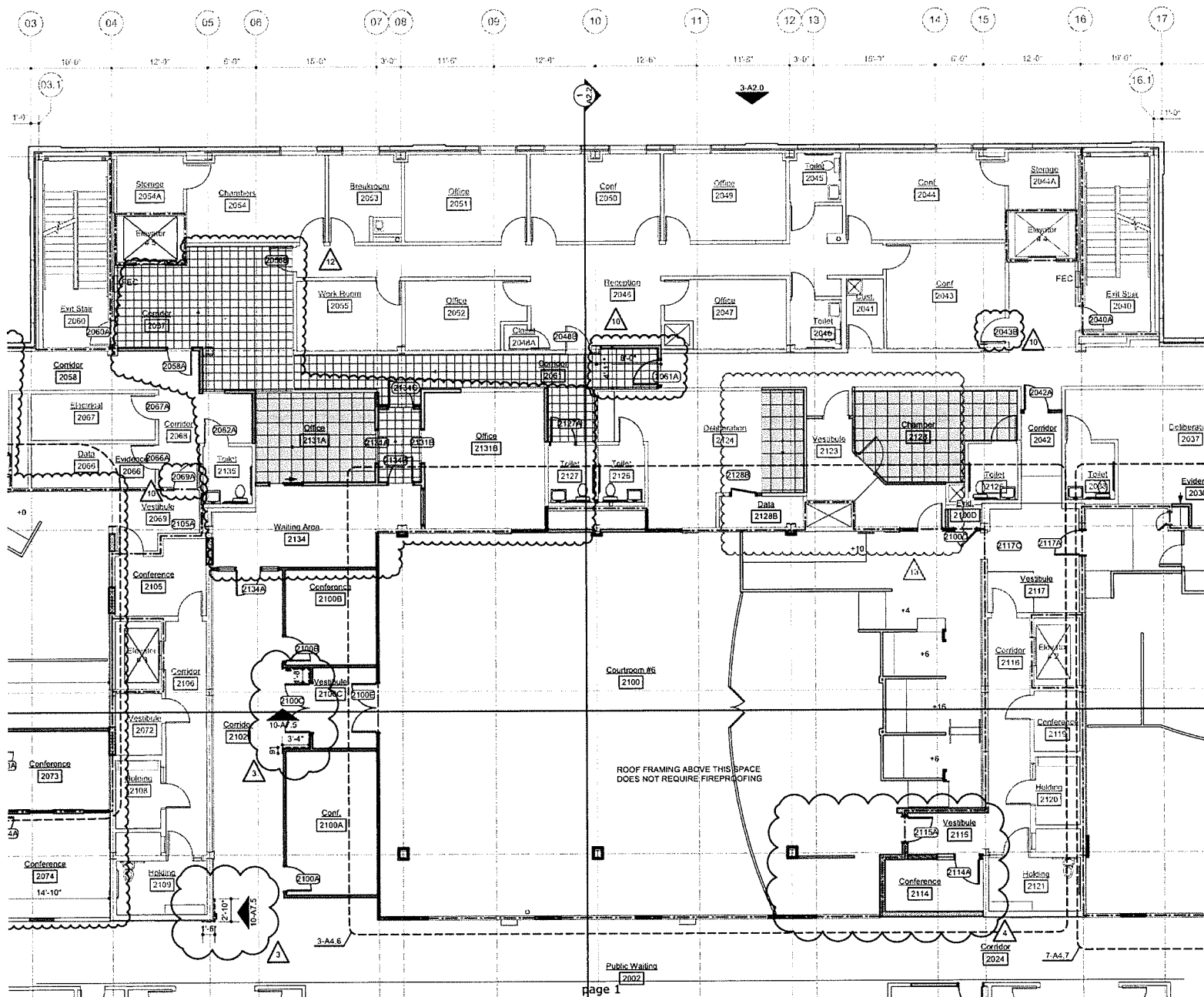
Tue 7/20/2021 5:46 PM

Sorry for the delay My father is at Duke Hospital in the ICU and I have been occupied as well as a bit overwhelmed the last few days . I will get that CO as soon as I can thank you for your understanding and Patience

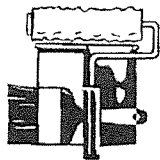
Chris Brock
Carolina Commercial Floorcovering
910-343-3350

06 July 2021 : RFP N#29 adds and Ordering
Current screen

Scale 1:210 (original drawing scale 1:96)



Proposal



Duncan's Paint and Wallpaper, Inc.

5946 Red Hill Rd. • Whiteville North Carolina 28472

Phone: (910) 642-7442 • Cell: (910) 840-9936 • Fax: (910) 642-0117

PROPOSAL SUBMITTED TO MATT Brittan Monteith		PHONE	DATE 7/1/2021
STREET		JOB NAME Brunswick Lighthouse	
CITY, STATE, AND ZIP CODE		JOB LOCATION RFP 29	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for:

Field stain 4 doors PAINT 11 HMF
2058 A
2070 B
2070 C
2075 A

6 New doors Total - See East Coast Proposal

All Labor & Materials - 1,850

\$462.5 Each

**6 Total New, Not 4:
\$2,775**

We Propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

Payment to be made as follows: _____ dollars (\$ **1,850**) .

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized
Signature

Note: This proposal may be withdrawn by us if not accepted within _____ days.

Acceptance of Proposal — the above prices, specifications and conditon are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: _____

Signature: _____

Signature: _____



CHANGE ORDER PROPOSAL

June 24, 2021

Monteith Construction

Attn: Matt Brittan

Project: Brunswick County Courthouse

Proposal #: J1330 – RFP 29

Proposal:

2058A

AE confirm

RFP 29

- ✓ • Door 2058A – Providing new wood door (flush) and hollow metal frame. (Confirm standard three sided frame and jamb depth required). Hardware set 29 already provided in original scope.
- ✓ • Door 2062A – Providing new wood door (flush). Adding mop plate and coat hook. Remainder of hardware to be reused. HW Set 38 to 40
- ✓ • Door 2070A- Providing new office function locksets. Cylinder in original lockset provided to be reused. HW Set 8 to 40
- ✓ • Door 2070B – Providing new wood door (flush). Original frame we provided prepped for hardware on set 19 and all hardware already onsite.
- ✓ • Door 2070C – Providing new wood door (flush). Original frame is prepped to work with hardware set 19. Adding one standard hinge to replace the electric hinge, along with new classroom function lockset and closer. Cylinder in original lockset provided to be reused.
- ✓ • Door 2073A – No changes. All material to be salvaged and re-used. Grey
- ✓ • Door 2074A – Provide new wood door (flush). Same as door provided originally at 2073A but flush.
- ✓ • Door 2075A – Providing new wood door (flush) and hollow metal frame. (Confirm standard three sided frame and jamb depth required). Providing new hardware set 32.
- ✓ • Door 2134B - No changes. All material to be salvaged and re-used Grey
- ✓ • Door 2131A – We provided as hardware set 36 in original scope. Providing new office function lockset and new cylinder as called for in set 38. (Advise how the cylinder is to be keyed).
- ✓ • Door 2131B – We provided as hardware set 36 in original scope. Providing new office function lockset and new cylinder as called for in set 38. (Advise how the cylinder is to be keyed).

Please note that due to the current lead-time of wood doors (17-18 weeks) we have quoted all wood doors as unfinished to be stained in the field. This will allow us to purchase from a quick ship manufacturer. The lead time will be 3-4 weeks.

6 Doors Each - Pricing to stain by Duncan

Total add of \$9,857PLUS TAX
(Grand Total: \$10,522.35 including 6.75% Sales Tax)

Prepared by:
April Little

****If accepted, please sign below and return immediately. A formal change order should be provided within 15 days. Failure to provide formal change order may delay shipment of materials. ****

Approved by: _____ Date: _____

CHANGE PROPOSAL FORM

Project: Brunswick County Courthouse	AFP Proposal #: 014
Contract:	Date: 6/28/2021
Contractor: Allied Fire Protection, Inc.	AFP Job #: 240-C-20

Description of change: RFP 29 Changes

Scope: Remove existing drops and replace with new heads on flex connections: Rms 2058, 2063, 2064, 2074, 2075, 2076, 2073, 2056, 2057, 2061, 2135, 2131A, 2131B, 2131, 2134 (26 heads)
 Add new head on mechanical tee in areas where no existing outlet is available: Rms 2063, 2073, 2134, 2070
 Update CAD backgrounds, Current As-Builts, Shop drawings and new permit drawings

EXCLUSIONS: Adjustments to existing lines or main piping.

No line or main alterations appear necessary unless current As-builts are not accurate

Materials (Attach list with Qty, Item, Unit \$, Unit mh, Total mh, OT mh, Total \$)				SUBTOTALS	
1. Total Direct Cost of Materials			\$939.88		
2. Overhead & Profit on Item 1.	10.000%		\$93.99		
(15% maximum, includes small tools & consumables)					
3. Sales Tax	7.250%				
4. Shipping & Transportation					
5. Core Drill			\$0.00		\$1,033.87
Labor					
5a. Shop Hours	6 MH @	\$37.31 /hr.	\$223.86		
5b. Foreman Manhours:	20 MH @	\$44.00 /hr.	\$880.00		
5c. Designer Manhours:	16 MH @	\$57.30 /hr.	\$916.80		
5d. Fitter Manhours:	20 MH @	\$38.19 /hr.	\$763.80		
5e. Helper Manhours:	20 MH @	\$31.21 /hr.	\$624.20		
6. Overhead & Profit on Item 5.	10.000%		\$318.48		
(15% maximum on straight labor cost, not premium portion)					
(O & P includes supervisor's time)					
7. Payroll Taxes & Insurance	39% (Max 39%)		\$1,242.07		
8. Gas (Foreman) Expense (\$80.00 per Day)			\$160.00		
9. Daily Expense \$15.00 Per Day per Man					\$5,129.21
Equipment Rental (Include quotes)					
8. Equipment Rental (1x 26' for Demc					
9. Overhead & Profit on Item 8.	6.000%		\$0.00		\$0.00
(6% maximum)					
Subcontractors (Include quotes with material & equipment backup)					
10. Subcontractors			\$0.00		
11. Overhead & Profit on Item 10.	6.000%		\$0.00		\$0.00
(6% maximum)					

Subtotal of Proposal \$6,163.08

12. Bonds (% of subtotal of proposal) 0.000% \$0.00

TOTAL OF CHANGE PROPOSAL \$6,163.00

Time Extension Request: 0 day(s). Schedule Activity # Affected: -

The Contractor agrees to perform the work outlined in this change proposal for the amount specified above and in accordance with the Contract documents if the work is authorized by the Owner.

Contractor's Signature: Michael Godsey **Date:** 6/28/2021

Approval Recommended by Design Consultant: _____ **Date:** _____

Owner's Representative Approval: _____ **Date:** _____

[illegible]

Hi Bettina

Hopefully that answers your questions

Michael Godsey

Allied Fire Protection Inc.

Email: MGodsey@alliedfire.net

RP&E

147 Aberdeen Drive
Florence, SC 29501
O: (843) 413-9565
F: (843) 968-8206
Licenses NC #U33501
NC #34655 & SC #M2508



Mechanical
Electrical
Plumbing

7-8-2021

Attention: Matthew Britton
Subject: BCCH RFP 29

This letter is to provide a **Plumbing** for the above subject project. This pricing is in accordance with the documents, clarifications and/or exclusions below:

Quote based on Prints PD1.2, PD1.1, P1.2, and P1.1
Dated 9-23-2019

The following items are *clarifications* to the above referenced review:

1. Sales tax is included
2. Demo Existing Vent piping as indicated on print on PD1.1
3. reconnect piping as noted on P1.1
4. Demo was part of Work for RFP 32 of Print PD1.2
5. Modify and install vent piping changes as shown on print P1.2
6. Insulate as required

Confirmed Note 4 included
in RFP 32 Scope

Exclude

Plumbing bid for the above-mentioned work: \$ 2685.00

Rivers is pleased to provide a price for the above referenced project. This scope has been prearranged for your use in compiling a comprehensive general contract proposal and to assist in organizing the various prices from other subcontractors. If there are clarifications and/or modifications to the scope, for any portion of this proposal do not hesitate to contact:

Danny Howell at 843-413-9565 ext. 9105 Cell: 843-601-9384 or email
danny.howell@rpecontracting.com

Respectfully,

Danny Howell
Project Manager

Chris Chance at 843-992-8673 ext. 9501 or email chris.chance@rpecontracting.com

Respectfully,

RP&E

147 Aberdeen Drive
Florence, SC 29501
O: (843) 413-9565
F: (843) 968-8206



Mechanical
Electrical
Plumbing

Chris Chance

Assistance Project Manager & Service Coordinator

PROPOSAL REQUEST FORM

RIVERS

Project:	Renovation	Rivers CO No:	005
Contract:	0	Date:	7/7/2021
Contractor:	Monteith Construction	Owner:	Brunswick County
	0		0
	0		0

Description of Work:

Materials	Subtotals
1. Total materials	\$200.00
2. Overhead & profit	\$32.10
3. Sales tax	\$14.00
4. Shipping and transportation	\$246.10

Labor	Subtotals
5. Total man-hours	32
6. Labor and direct cost	\$1,333.72
7. Burden (Payroll taxes, insurance, etc...)	\$416.00
8. Overhead and profit	\$262.46
	\$2,012.18

Equipment / Tools / Rental	Subtotals
9. Equipment rental	\$0.00
10. Sales tax	\$0.00
11. Overhead and profit	\$0.00
	\$0.00

Subcontractors	Subtotals
12. Subcontractors	\$0.00
13. Overhead & profit	\$0.00
	\$0.00

Subtotal of Proposal	\$2,258.28
-----------------------------	-------------------

14. Bonds (1.2% of subtotal of proposal)	\$27.10
--	---------

Total of Proposal Request	\$2,285.38
----------------------------------	-------------------

All change orders are subject to attached Rivers change order terms

Contractor's Signature: <u>Danny Howell</u>	Date: <u>7/8/2021</u>
---	-----------------------

Owner's Signature: _____	Date: _____
--------------------------	-------------

PROPOSAL REQUEST BREAKDOWN FORM
--

Rivers

Description: 0
Project: 0
Rivers CO No: CO- 005
Date: 7/8/2021

Labor Rate: \$32.50
Burden: 40.00%
Sales Tax: 7.00%

Subcontract OH+P: 5%
Overhead: 10%
Profit: 5%
Total O&P: 15%

Labor	Reg	O/T
Worksheet Labor	-	-
Demo	16	
Install piping	8	
Install insulation	8	

Unit	Material	Price	Extended
0	Worksheet Material	\$0.00	\$0.00
1	Pipe, couplings, & fitting	\$135.00	\$135.00
1	Insulation	\$65.00	\$65.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00

Unit	Tools/Equipment/Rental	Price	Extended
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
Unit	Subcontractor	Price	Extended
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00

Direct Cost	
Truck	\$70.00
Fuel	\$15.00
Travel - Labor	\$0.00
Safety	\$62.40
Foreman - Labor	\$117.21
Tool Expense	\$25.12
Waste Management	\$0.00
Disposables	\$0.00
Fasteners	\$4.00

Labor	
Total Labor Hours-Regular	32
Total Labor Hours-Overtime	-
Labor - Extended	\$1,040.00
Burden	\$416.00
Overhead & Profit	\$218.40
Total	\$1,674.40

Material Cost	\$200.00
Equipment Rental	\$0.00
Direct Cost	\$293.72
Labor Cost with Burden	\$1,674.40
Subcontractors	\$0.00



801 South 16th Street
Wilmington, NC 28401
Office: (910) 762-3355
www.standardglass.com
(http://www.standardglass.com/)

Change Order Request

PROJECT — Brunswick County Courthouse

COR Subject: RFP 29

To Matt Brittan
Monteith Construction Corporation
208 Princess Street
Wilmington, NC 28401
(910) 791 8101

COR Number: 4
COR Revision Number: 0
COR Date: 7/12/2021
Work Type: Price / Do Not Proceed
Days Valid: 15

Return To Phillip Conradie
Standard Glass
801 S 16th Street
Wilmington, NC 28401
(910) 762-3355
(910) 616-7764
phillip@standardglass.com

Scope Of Work / Time Extension Request

Provide and Install new DW1800A Sliding Transaction window in Waiting Room 2134 to match rest of installed sliders.

Provide & Install Qty. 1 One Way Mirror Window & Glass at Courtroom #5

Details

Description	Type	Cost / Rate	Qty / Hrs	Workers	Ext
Labor Slider	Labor	\$71.40	5.00 Hrs	4.00	\$1428.00
Labor One Way Mirror Window	Labor	\$71.40	4.00 Hrs	4.00	\$1142.40
DW1800A Slider	Material	\$2,996.00	1.00 EACH	-	\$2996.00
One Way Mirror Window	Material	\$802.50	1.00 EACH	-	\$802.50

Breakout

Labor : \$2,570.40
Overhead Percent @ 15%: \$385.56
Material : \$3,798.50
Overhead Percent @ 15%: \$569.78

Total: \$7,324.24

Signed By:

A handwritten signature in black ink, appearing to read 'P. Conradie', with a stylized flourish at the end.

Phillip Conradie
Manager

Dated: 7/12/2021

To: **Monteith Construction**
Attn: Matthew Brittan

28-Jun-21

Re: **Brunswick Courthouse**
Addition & Renovation

MECHANICAL

From: **TA Woods Company**
Mechanical / Electrical Contractors

MCPR-19 RFP 29 Drawing Revision # 12

Detailed below find cost associated with material, labor and equipment to perform scope of work on 2nd floor per recent revision # 12 titled RFP 29. Due to constant fluctuations in material pricing and availability we have a 10 working day limit on proposals.

1	Materials	\$	2,812.00	
2	Company Owned Equipment and/or Rental	\$	450.00	Company Vehicles
3	Expendables	\$	119.35	(.35 cents per man-hour)
4	Subtotal	\$	3,381.35	
5	Sales Tax	\$	196.84	7.00%
A.	Direct Cost Subtotal	\$	3,578.19	
Man-Hours				
6	Journeyman / Mechanic	\$	6,412.00	229.00
	Shop Fabrication	\$	688.00	32.00
7	Crew Foreman	\$	2,720.00	80.00
8	Subtotal	\$	9,820.00	
9	Safety 1st - productivity burden	\$	196.40	(2% of labor)
10	Labor Taxes, Insurance and Fringe Benefits	\$	3,928.00	40%
B.	Labor Cost Subtotal	\$	13,944.40	
11	Total Cost (A+B)		\$17,522.59	
12	Field & Office General Administrative Cost		\$1,752.26	10%
13	Subtotal		\$19,274.85	
14	Profit		\$963.74	5%
C.	T.A. Woods Total Change		\$20,238.59	
Subcontractors				
15		\$2,290.00		Insulation
16		\$0.00		Controls
17		\$0.00		Test & Balance
18		\$0.00		Gardner Concrete Cutting
19	Subcontractor Subtotal	\$2,290.00		
20	Profit	\$343.50		15%
D.	Subcontractors Total Change		\$2,633.50	
E.	BOND	\$	288.19	1.26%
F.	TOTAL CHANGE (C+D)		\$23,160.28	

Due to fluctuations in commodity pricing and scheduling pricing only valid for 10 days
Extension of time requested: 21 calendar days.

Casey Matthews, Project Manager Date 6/28/2021

Brunswick County Courthouse - Additions & Renovations
MCPR-19
RFP 29 Drawing Revision # 12

6/28/2021

		Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equip
SCOPE								
1	Fabrication Duct	430	lbs.	\$1.87	\$806.00	0.074	32.00	
2	Oval Duct Fittings	2	Ea.	\$550.00	\$1,100.00	8.000	16.00	
3	Installation Ductwork & Branch	430	lbs.	\$0.06	\$26.00	0.302	130.00	
4	Fire Damper & Sleeve, Access Door	1	Ea.	\$265.00	\$265.00	5.000	5.00	
5	Differs & Grilles	4	Ea.	\$135.00	\$540.00	3.000	12.00	
6	Demolition 2nd & 3rd Floors	1	Ea.	\$75.00	\$75.00	48.000	48.00	
7								
8								
9								
10								
Sub Totals					\$2,812.00		243.00	0.00
11	MISC							
	Labels - LF/10 = Unit	0	Ea.	\$	-			
Sub Totals					\$			
12	Direct Supervision (Crew Foreman)	1	LS			81.00	80.00	\$450.00
13	"Just in Time Placement & Handling"							
	Loading & Unloading -	835	lbs.			0.030	18.00	
	Loading & Unloading - Roof	0	lbs.			0.040	0.00	
	Materials Handling - Lull		LS				0.00	
Sub Totals							18.00	450.00
14	Rentals			Daily				
	Welder & Gases	0		\$75.00				\$0.00
	Excavator	0		\$300.00				\$0.00
	Skid Steer	0		\$265.00				\$0.00
	Pipe Butt Fusion Machine	0		\$200.00				\$0.00
	Pipe Socket Fusion Machine	0		\$130.00				\$0.00
Sub Total								\$0.00
15	Totals				\$ 2,812.00		341.00	\$450.00

T.A. Woods
MATERIAL, EQUIPMENT AND LABOR SUMMARY
Bid 457

Page: 4
5:12 pm
7/19/19
SN 104

BRUNSWICK COURTHOUSE
Alternate: 2 (Add.) System Symbol: RFP 29

Category	Material Cost	-- Fabrication -- Hours		Cost	----- Field ----- Hours		Cost
Rnd/Ov Pipe & Fit	1,191 T	-	-	-	45 T	-	1,255 T
Housings & Plenums	0 T	-	-	-	0 T	-	0 T
Duct Accessories	265 T	-	-	-	5 T	-	138 T
Air Distribution	540 T	-	-	-	5 T	-	147 T
Insulation	0 T	-	-	-	0 T	-	0 T
System Equipment	0 T	-	-	-	0 T	-	0 T
Other Purchased	80 T	-	-	-	9 T	-	260 T
PURCHASED SUBTOTALS:	\$2,076				64		\$1,800
Fabricated Items	736 T	31 T		658 T	153 T		4,278 T
Supervision	0 T	0 T		0 T	0 T		0 T
Drawings (Detailing)	0 T	2 T		34 T	0 T		0 T
Material Handling	0 T	0 T		0 T	11 T		319 T
Removal	0 T	0 T		0 T	0 T		0 T
Testing	0 T	0 T		0 T	1 T		16 T
TOTALS:	\$2,812	32		\$692	229		\$6,414
(less Service)							
Service	0 T	-	-	-	0 T	-	0 T
TOTALS:	\$2,812	32		\$692	229		\$6,414
(Fabrication, Purchased Materials, Equipment, Labor, Service)							

From: Casey Matthews

Sent: Friday, July 16, 2021 7:09:48 AM

To: Matthew Brittan <mbrittan@monteithco.com>

WAGE RATES: Cc: Bettina Acosta <bacosta@monteithco.com>; Daniel Hart <dhart@monteithco.com>

Subject: RE: ARP 116 Courtroom #5 Revisions mechanical labor

Matt,

All is justified in our breakdown.

We compared the original drawings to the revised, performed a take off and ran the report.

Everyone thinks that this work takes no time to do but it does and that's why we use an estimating system and not our feelings or what we think.

Keep in mind that that pricing was good for 10days.

If materials prices change that price will be voided and a new change order will be provided.

Respectfully,
Casey Matthews
Project Manager



To: **Monteith Construction**

19-Jul-21

Attn: **Matt Brittain**

Re: **Brunswick County Courthouse**
Addition & Renovation

Electrical

From: **TA Woods Company**
Mechanical/Electrical Contractors

ECPR-41 **Courtroom Revisions**

Provide and install electrical work as noted on courtroom revision drawings E0.1, E1.4, E1.5, E1.6, ED1.4, ED1.6 dated 6-18-2021. Fixture type B4 indicated in office 2131B is being priced as fixture type B3. Fixture type B4 is not an existing fixture type for this project. Lead time on fixtures is 4-5 weeks.

1	Materials	\$	3,277.37	
2	Company Owned Equipment and/or Rental	\$	84.38	see attachment
3	Expendables	\$	40.78	(.35 cents per man-hour)
4	Subtotal	\$	3,402.52	
5	Sales Tax	\$	229.42	7.00%
A.	Direct Cost Subtotal	\$	3,631.94	
				Man-Hours
6	Journeyman / Mechanic	\$	3,146.50	101.50
7	Crew Foreman	\$	510.00	15.00
8	Subtotal	\$	3,656.50	
9	Safety 1st - productivity burden	\$	73.13	(2% of labor)
10	Labor Taxes, Insurance and Fringe Benefits	\$	1,462.60	40%
B.	Labor Cost Subtotal	\$	5,192.23	
11	Total Cost (A+B)		\$8,824.17	
12	Field & Office General Administrative Cost		\$1,323.62	15%
13	Subtotal		\$10,147.79	
14	Profit		\$507.39	5%
C.	T.A. Woods Total Change		\$10,655.18	
				Subcontractors
15				
16				
17			\$0.00	
18			\$0.00	
19	Subcontractor Subtotal		\$0.00	
20	Profit		\$0.00	15%
D.	Subcontractors Total Change		\$0.00	
E.	BOND	\$	134.26	1.26%
F.	TOTAL CHANGE (C+D)		\$10,789.00	

Due to fluctuations in commodity pricing and scheduling pricing only valid for 5 days
Extension of time requested: **6 work** days.

7/19/2021

Pete Browne, Electrical Project Manager Date

Brunswick County Courthouse
ECPR-41
Courtroom Revisions

7/19/2021

		Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equip
SCOPE								
1	Additional Light Fixtures	1	LS	\$1,430.37	\$1,430.37	12.000	12.00	
2	1" EMT conduit/fittings	70	LF	\$2.40	\$168.00	0.150	10.50	
3	Boxes, covers, supports	34	Ea	\$13.12	\$446.00	0.647	22.00	
4	1/2" flex, fittings	18	LF	\$1.61	\$29.00	0.167	3.00	
5	12/2MC, 12/3 MC/12/2MC w/ LED	770	LF	\$1.45	\$1,119.00	0.045	35.00	
6	Devices, covers	16	E	\$3.50	\$56.00	0.375	6.00	
7	#12 THHN	96	LF	\$0.30	\$29.00	0.010	1.00	
8	Demo	1	LS	\$0.00		12.000	12.00	
9								
10								
Sub Totals					\$3,277.37		101.50	0.00
MISC								
11	Labels - Phenolic		Each	\$	-			
Sub Totals					\$			-
12	Direct Supervision (Crew Foreman)	0	LS			14.50	15.00	\$84.38
13	"Just in Time Placement & Handling"							
	Loading & Unloading -	0	lbs			0.030	0.00	
	Loading & Unloading - Roof	0	lbs			0.040	0.00	
	Materials Handling - Lull		LS				0.00	
Sub Totals							0.00	84.38
14	Rentals		Weekly					
				\$75.00				\$0.00
	Excavator			\$600.00				\$0.00
	Skid Steer			\$265.00				\$0.00
	Tamps			\$225.00				\$0.00
	Delivery and P/U			\$200.00				\$0.00
Sub Total								\$0.00
15	Totals				\$3,277.37		101.50	\$84.38

Bettina Acosta

From: Joe Smith <jsmith@tawoods.com>
Sent: Monday, July 19, 2021 12:58 PM
To: Matthew Brittan
Cc: Bettina Acosta; Daniel Hart
Subject: RE: Brunswick County Courthouse -RFP 29 Pricing
Attachments: ECPR-41R1 Courtroom Changes Second Floor.pdf

see below

Respectfully,
Joseph Smith
Vice President



Mechanical | Plumbing | Electrical
6713 Netherlands Drive
Wilmington, NC 28405
Phone: 910.452.7900 ext.120
www.tawoods.com



From: Matthew Brittan <mbrittan@monteithco.com>
Sent: Friday, July 16, 2021 1:31 PM
To: Joe Smith <jsmith@tawoods.com>
Cc: Bettina Acosta <bacosta@monteithco.com>; Daniel Hart <dhart@monteithco.com>
Subject: FW: Brunswick County Courthouse -RFP 29 Pricing

Joe – RFP 29 comments below. Thanks.

Matt Brittan
Project Manager
M: 808.354.1757
O: 910.791.8101



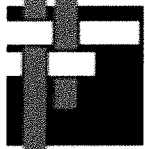
From: Jenny Williams <jenny@s2a3.com>
Sent: Friday, July 16, 2021 1:03 PM
To: Matthew Brittan <mbrittan@monteithco.com>
Cc: john sawyer Architect <john@s2a3.com>
Subject: FW: Brunswick County Courthouse - ARP 116 Courtroom #5 Revisions electrical

Matt,

See electrical comments below for ARP #116 Courtroom #5 Revisions.

Thanks,

Jenny Williams, AIA



**S A W Y E R
S H E R W O O D
& A S S O C I A T E
A R C H I T E C T U R E**

124 Market Street
Wilmington, NC 28401
910.762.0892
S2a3.com

From: Mark Ciarrocca <mciarrocca@cheathampa.com>

Sent: Friday, July 16, 2021 12:39 PM

To: Jenny Williams <jenny@s2a3.com>

Cc: Ken Lynch <klynch@cheathampa.com>; Casey Gilman <cgilman@cheathampa.com>; Kay Lynch <office@cheathampa.com>; John Sawyer Architect <john@s2a3.com>

Subject: FW: Brunswick County Courthouse - ARP 116 Courtroom #5 Revisions

Jenny,

Comments:

		Quant		Unit Price	Material Total
SCOPE					
1	Additional Light Fixtures	1	LS	\$1,430.37	
2	1" EMT conduit/fittings	70	LF	\$3.27	
3	Boxes, covers, supports	34	Ea	\$13.12	
4	1/2" flex, fittings	18	LF	\$1.61	
5	12/2MC, 12/3 MC/12/2MC w/ LED	770	LF	\$1.45	
6	Devices, covers	16	E	\$3.50	

1. Proposed costs appear to be reasonable.
2. Proposed costs vary from what was submitted for ARP 117. Material \$3.27 vs \$2.38 and labor unit 0.171 vs 0.144. I'm not sure why these would be different. And we had comments on ARP 117 where we thought those were high.

I will review the 1" conduit

3. Appears reasonable.
4. Proposed flex (empty) Material is higher than MC cable (flex w/ conductors). Seems odd.
½" greenfield flex \$1.10 ft, ½" str conn \$2 each 18' plus 6 conn is actually more than the \$29 listed
5. The MC cable description is a bit odd with multiple types indicated? \$1.45/ft is significantly higher than \$1.00/ft proposed on ARP 117 for 12/2 MC. Labor is less than previously proposed.
the MC is 12/2 MC cable, 12/3 MC cable 12/2 MC cable with LV dimming cables 12/2 MC \$.70 ft, 12/3 MC \$1.30 ft, 12/2 MC with LV dim \$1.65 ft, plus straps, screws, supports, conn, wire nuts
6. Appears reasonable.
7. Appears reasonable.
8. Appears reasonable.

Regards,

Mark A. Ciarrocca, P.E.

Cheatham & Associates, PA | Consulting Engineers

3412 Enterprise Drive, Wilmington, NC 28405

mcicarrocca@cheatham.com ♦ Phone: 910-452-4210 ♦ Mobile: 910-620-0099

From: Jenny Williams <jenny@s2a3.com>

Sent: Wednesday, July 14, 2021 2:25 PM

To: Kay Lynch <office@cheatham.com>; Ken Lynch <klynch@cheatham.com>; Casey Gilman <cgilman@cheatham.com>; Mark Ciarrocca <mcicarrocca@cheatham.com>

Cc: John Sawyer Architect <john@s2a3.com>

Subject: Brunswick County Courthouse - ARP 116 Courtroom #5 Revisions

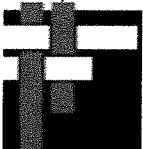
Good afternoon,

Here's another ARP for Brunswick County Courthouse. This one is for RFP #29 Courtroom #5 Revisions.

Please review the fire protection, plumbing, mechanical, and electrical cost proposals and let us know if you have any comments.

Thanks,

Jenny Williams, AIA



**SAWYER
SHERWOOD
& ASSOCIATES
ARCHITECTS**

124 Market Street
Wilmington, NC 28401
910.762.0892
s2a3.com

SubContractor's Change Order Proposal Cover (Sheet "A")

Brunswick Courthouse Addition & Renovation

(Form used for 1st, 2nd, 3rd tier subs)

Monteith Construction

Detailed Scope Of Work: Proposal includes material, labor and equipment cost associated with concrete patches due to plumbing demolition and temporary plastic barriers maintenance for continued cleanliness in occupied spaces. Price excludes full temporary walls pending the start of RFP 29 scope.

C.O.R. Total*	\$ 1,626.06
---------------	-------------

(Signature here):

Date: 7.20.21

(Type name here): Matt Brittan

Brunswick Courthouse

SubContractor Summary - (Sheet "B")				
<div style="border: 1px solid black; width: 200px; height: 50px; margin: 0 auto;"></div>				
Summary of SubContractor's Self Performed Work				
(1.) (= line e. from Sheet "C").	Total Material*	\$	602.06	
(2.) (=Line e. from Sheet "D").	Total Labor*	\$	1,024.00	
(3.) (= line e. from Sheet "E").	Total Equipment*	\$	-	
(4.) (=lines 1 + 2 + 3)	Self Performed Work*	\$	1,626.06	
Summary of other Quoted Work (subcontracts)				
(5.) Quote - Subcontractor #1	Quote #1 Total* (without OH&P)	\$	-	
(6.) Quote - Subcontractor #2	Quote #2 Total* (without OH&P)	\$	-	
(7.) Quote - Subcontractor #3	Quote #3 Total* (without OH&P)	\$	-	
(8.) (lines 5 + 6 + 7)	Quoted (subcontract) Work*	\$	-	
(9.) (on line 8)	8% max)	20% OH&P	\$	-
(10.) (lines 8 + 9)	Total - Quoted (subcontract) Work*	\$	-	
(11.) (lines 4 + 10)	Total - Self Performed & Quoted (subcontract) Work* (less bond, ins. &	\$	1,626.06	
(12.) (on line 11.)	(if applicable)	0.00% Bond*	\$	-
(14.) (lines 14 + 16)	C.O.R. Total - All Work*	\$	1,626.06	
* Do Not Round Off Numbers				

SubContractor Material Break Down - (Sheet "C")

[illegible]

a.	Raw Total*	\$ 475.00
----	------------	-----------

(on line b.)		b. 6.75%		Sales Tax		\$ 32.06	
Subtotal				\$ 507.06			

(on line a.)	c.	20%	OH&P	\$	95.00
(lines a. + b. + c.)	d.	Total Material*			\$ 602.06

*** Do Not Round Off Numbers**

SubContractor Labor Break Down (Sheet "D")

[illegible]

a.	Raw Total*	\$ 640.00
----	------------	-----------

on line a.	b.	40%	Burden	\$	256.00
------------	----	-----	--------	----	--------

on line a.	c.	20%	OH&P	\$	128.00
------------	----	-----	------	----	--------

(lines a. + b. + c.)	d. Total Labor*	\$ 1,024.00
----------------------	------------------------	--------------------

* **Do Not** Round Off Numbers

SubContractor Equipment Break Down (Sheet "E")

Equipment Type	Rental Per Hour		Rental Per Day		Rental Per Week		Rental Per Month		Extension*
	Hour(s)	Charge	# Day(s)	Charge	# Week(s)	Charge	# Month(s)	Charge	
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ /mth(s)	\$ -
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -
a.									Raw Equipment* \$ -
Shipping Breakout									
Equipment Type	Unit	Unit Cost							Extension
	@	\$ -							\$ -
	@	\$ -							\$ -
b.									Shipping Cost* \$ -
<div style="display: flex; justify-content: space-between;"> <div>(No sales tax charge on contractor owned equipment)</div> <div>Enter 0 on line c. If contractor owned</div> </div>									
<div style="display: flex; justify-content: space-between;"> <div>c.</div> <div>(on line a.)</div> <div>6.75%</div> <div>Sales Tax</div> <div>\$ -</div> </div>									
<div style="display: flex; justify-content: space-between;"> <div>d.</div> <div>(on line a.)</div> <div>20%</div> <div>OH&P</div> <div>\$ -</div> </div>									
<div style="display: flex; justify-content: space-between;"> <div>e.</div> <div>(lines a. + b. + c. + d.)</div> <div>Total Equipment*</div> <div>\$ -</div> </div>									
* Do Not Round Off Numbers									

Allowance Reduction Proposal



Wilmington
Raleigh
Charleston

208 Princess
Wilmington, NC 28401
P: 910-791-8101
monteithco.com

Date: 7.21.21

Project: Brunswick County Courthouse Addition & Renovations

Owner Address: 310 Government Center Drive, NE
Bolivia, North Carolina 28422

ARP # 125 R.1 - RFP 33 Courtroom 6 Revisions

Proposal includes all labor, material, and equipment cost associated with RFP 33. Time Extension and General Conditions are required, but excluded from the proposal and will be submitted once a start date is provided. No Tile is included in proposal, please advise if Public Waiting side of door 2100F is to match Opening 2030A. Scope is also priced for normal working hours.

<u>Subcontractor</u>	<u>Proposal Total</u>
<u>A&B Signs R.1</u>	<u>\$358.49</u>
<u>Allied Fire Protection R.1</u>	<u>\$2,608.00</u>
<u>Arrowood R.1</u>	<u>\$9,780.00</u>
<u>CCF R.1</u>	<u>\$621.00</u>
<u>Macuch R.1</u>	<u>\$1,191.00</u>
<u>Duncan Paint R.1</u>	<u>\$2,380.00</u>
<u>East Coast Access</u>	<u>\$3,528.09</u>
<u>Macsons</u>	<u>\$4,804.00</u>
<u>Grey Interiors</u>	<u>\$3,430.15</u>
<u>TA Woods Electrical R.1</u>	<u>\$6,246.00</u>
<u>Concordia - Tile Excluded</u>	<u>\$0.00</u>
<u>MCC R.1</u>	<u>\$2,823.06</u>
<u>Paul Barbour & Sons R.1</u>	<u>\$1,271.00</u>
<u>N/A</u>	<u>\$0.00</u>
TOTAL SUBCONTRACTS	<u>\$39,040.79</u>
5% GC FEE	<u>\$1,952.04</u>
TOTAL CHANGE AMOUNT	<u>\$40,992.83</u>

Allowance Reduction Proposal

Sincerely,

Matt Brittan

Matt Brittan

Monteith Acceptance

Owner Acceptance

MONTEITH
CONSTRUCTION CORP.
RALEIGH | WILMINGTON

Bettina Acosta

From: Roger Brown <rbrown.absignsystems@yahoo.com>
Sent: Friday, July 16, 2021 6:41 AM
To: Bettina Acosta
Cc: Matthew Brittan; Daniel Hart
Subject: Re: Brunswick County Courthouse: RFP 33: Revised Pricing

3 additional signs, Sign Type C, the cost for these would be as follows:

Product:	\$ 255.00
Sales tax:	\$ 18.49
Delivery:	\$ 25.00
Installation:	\$ 60.00 -installation with current contract signs
Total :	\$ 358.49

Roger L. Brown

A-B Sign Systems

8639 Trail Lake Drive
Powell, OH 43065-7992

803.600.6157

rbrown.absignsystems@yahoo.com

On Thursday, July 15, 2021, 02:53:13 PM EDT, Roger Brown <rbrown.absignsystems@yahoo.com> wrote:

Bettina - I will send this evening.

Sent from my iPhone
Roger L. Brown
A-B Sign Systems
803.600.6157

On Jul 15, 2021, at 10:24 AM, Bettina Acosta <bacosta@monteithco.com> wrote:

Morning Roger,

I hope all is well! We received comments from the design team regarding RFP 33 for the Brunswick County Courthouse. May you please review and provide revised pricing by the COB today?

ARP #125: RFP 33 Courtroom 6 Revisions

- A&B Signs:

CHANGE PROPOSAL FORM

Project: Brunswick County Courthouse **AFP Proposal #:** 016
Contract: _____ **Date:** 7/2/2021
Contractor: Allied Fire Protection, Inc. **AFP Job #:** 240-C-20

Description of change: RFP 33 Changes

Scope: Remove and replace (5) heads in Chamber 2124, (2) heads in Vestibule, (2) heads in Deliberations 2128.

Update CAD backgrounds, Current As-Built, Shop drawings and new permit drawings

EXCLUSIONS: Adjustments to existing lines or main piping.

No line or main alterations appear necessary unless current As-builts are not accurate

Materials (Attach list with Qty, Item, Unit \$, Unit mh, Total mh, OT mh, Total \$)				SUBTOTALS	
1. Total Direct Cost of Materials			<u>\$359.13</u>		
2. Overhead & Profit on Item 1. <u>10.000%</u>			<u>\$35.91</u>		
(15% maximum, includes small tools & consumables)					
3. Sales Tax <u>7.250%</u>					
4. Shipping & Transportation					
5. Core Drill			<u>\$0.00</u>		<u>\$395.04</u>
Labor					
5a. Shop Hours	6 MH @	\$37.31 /hr.	<u>\$223.86</u>		
5b. Foreman Manhours:	8 MH @	\$44.00 /hr.	<u>\$352.00</u>		
5c. Designer Manhours:	6 MH @	\$57.30 /hr.	<u>\$343.80</u>		
5d. Fitter Manhours:	8 MH @	\$38.19 /hr.	<u>\$305.52</u>		
5e. Helper Manhours:	8 MH @	\$31.21 /hr.	<u>\$249.68</u>		
6. Overhead & Profit on Item 5. <u>10.000%</u>			<u>\$125.10</u>		
(15% maximum on straight labor cost, not premium portion)					
(O & P includes supervisor's time)					
7. Payroll Taxes & Insurance <u>39%</u> (Max 39%)			<u>\$487.89</u>		
8. Gas (Foreman) Expense (\$80.00 per Day)			<u>\$80.00</u>		
9. Daily Expense \$15.00 Per Day per Man			<u>\$45.00</u>		<u>\$2,212.85</u>
Equipment Rental (Include quotes)					
8. Equipment Rental (1x 26' for Demc					
9. Overhead & Profit on Item 8. <u>6.000%</u>			<u>\$0.00</u>		<u>\$0.00</u>
(6% maximum)					
Subcontractors (Include quotes with material & equipment backup)					
10. Subcontractors			<u>\$0.00</u>		
11. Overhead & Profit on Item 10. <u>6.000%</u>			<u>\$0.00</u>		<u>\$0.00</u>
(6% maximum)					

Subtotal of Proposal \$2,607.89

12. Bonds (% of subtotal of proposal) 0.000% \$0.00

TOTAL OF CHANGE PROPOSAL \$2,608.00

Time Extension Request: 0 day(s). Schedule Activity # Affected: -

The Contractor agrees to perform the work outlined in this change proposal for the amount specified above and in accordance with the Contract documents if the work is authorized by the Owner.

Contractor's Signature: Michael Godsey **Date:** 7/20/2021

Approval Recommended by Design Consultant: _____ **Date:** _____

Owner's Representative Approval: _____ **Date:** _____

[illegible]



Brunswick County Courthouse – Bolivia, NC

RFP 33 – Courtroom #6 Revisions Pricing

(Adding 25 Linear Feet of Diewall, and 3 Linear feet for Gate)

Engineering

- \$60.00 Per Man Hour
- 6 Man Hours
- Total: \$360.00

***Finished Materials**

- Total: \$7,420.00

Installation

- 2 Extra Installation days
- Total: \$2,000.00

Grand Total: \$9,780.00



AWI
QUALITY
CERTIFICATION
PROGRAM



The mark of
responsible forestry

Bettina Acosta

From: Matthew Brittan
Sent: Monday, July 19, 2021 7:07 AM
To: Bettina Acosta
Subject: FW: Brunswick County Courthouse: Revising RFP 29, 32 & 33

Print to PDF and this will be the response to this portion to be included in our R1 submission.

Thanks,

Matt Brittan
Project Manager
M: 808.354.1757
O: 910.791.8101



From: Carl Hathcock <chathcock@arrowoodmfg.com>
Sent: Friday, July 16, 2021 4:01 PM
To: Bettina Acosta <bacosta@monteithco.com>; Daniel Hart <dhart@monteithco.com>; Matthew Brittan <mbrittan@monteithco.com>
Cc: jimyeatts@yahoo.com; jeudy arrowoodmfg.com <jeudy@arrowoodmfg.com>
Subject: RE: Brunswick County Courthouse: Revising RFP 29, 32 & 33

For Courtroom 5 Revisions - RFP29 - By changing the layout it has created additional mitered corners throughout. Which also means all the base and profile for the base has to be mitered as well, which takes additional time. Lining up all these miters, leveling and securing them is a difficult challenge and it takes a well paid, detail ordained installer to complete and have look decent. I'm not taking any amount of money off of the RFP29 for installation, to be honest, I want to add more to it. This same explanation can be found at the top of the proposal I sent. Plus we have to scribe our countertop around a column.

For Courtroom 33 - Courtroom 6 Revisions - Adding in an extra 25LF of diewall and a gate takes time to install, and it adds extra trim to be installed as well. Again, I'm not taking off any monies to accommodate them.

I believe my pricing to be very fair, and I guarantee that the installation will take longer than what I have before and what I added.

I'm not trying to be a tyrant, but I can't do anything on this. If I had over priced it, I would come off of the price some, but I think its very fair.

thanks, I hope everyone has a great weekend.

On July 15, 2021 4:24 PM Bettina Acosta <bacosta@monteithco.com> wrote:



2918 ORVILLE WRIGHT WAY • WILMINGTON, NC 28405
Phone (910) 343-3350 • Fax (910) 343-4131
www.ccfloorcovering.com

July 6, 2021

Monteith Construction
208 PRINCESS STREET
Wilmington, NC 28401

Re: BRUNSWICK CO COURTHOUSE
Bid # Q0004138 CO- 007
RFP #33 add carpet in Vestibule #2123
(Already added Carpet in Chamber #2128 and Deliberation #2124added area in #29)

Dear : Matt

Thank you for the opportunity to submit the following proposal for the above referenced project.

Scope of Work:

CPTL	CARPET TILE (CPT) color Mineral #2123			
	20.00 SY @	36.00	\$720.00	
Floor Prep	FLOOR PREP skim Coat Floor			
	175.00 SF @	0.65	\$113.75	
		Total Price	\$833.75	

Notes:

1) No demolition of existing flooring included.

* * *

I hope you find this proposal complete and to your satisfaction.

Sincerely, Chris Brock

REVISED PRICING

Carpet Tile: 15 SY @ \$36 = \$540

Floor Prep: 125 SF @ \$.65 = \$81

Revised Flooring Number: \$621

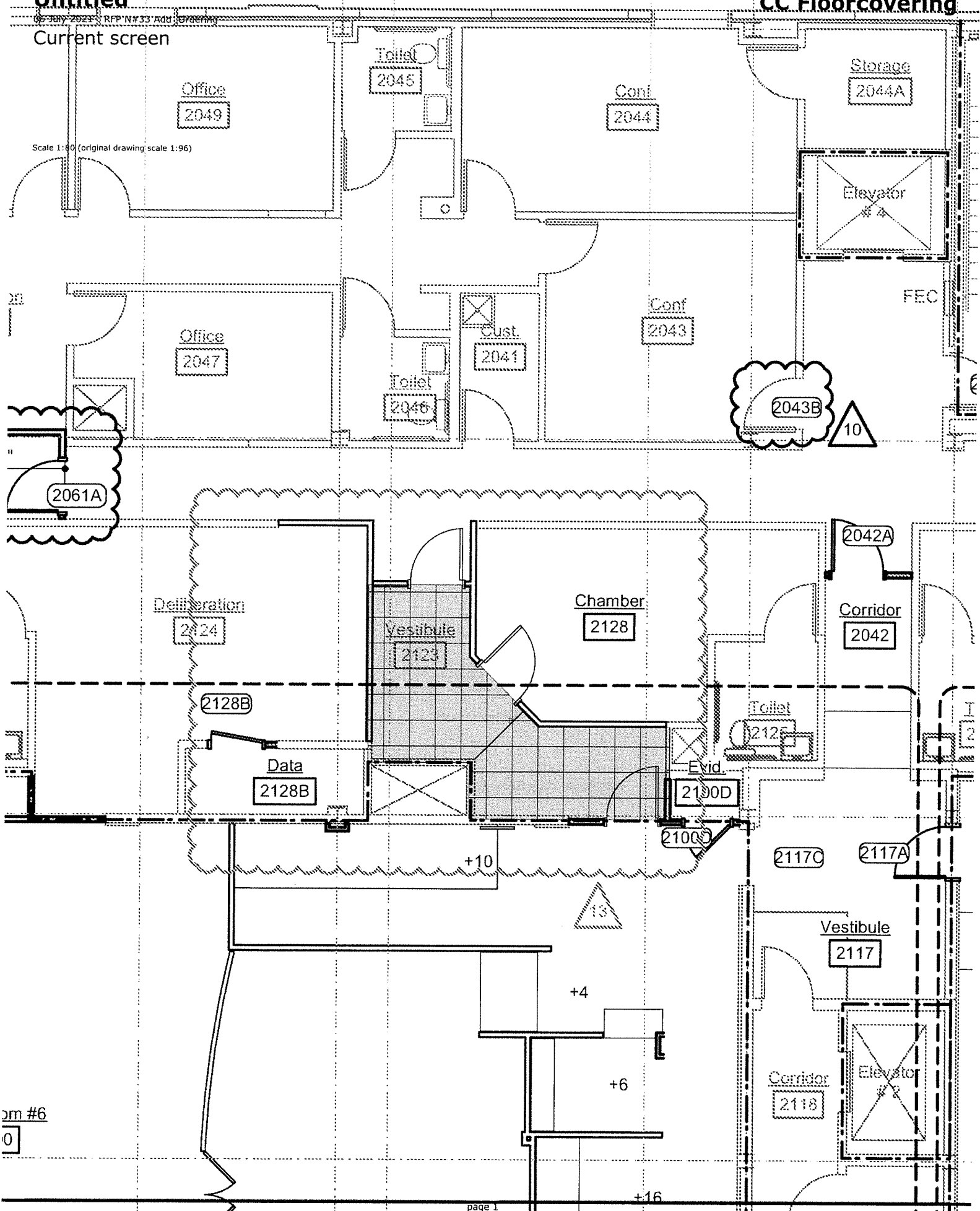
Untitled

06 July 2022 RFP N#33 Add Drawing

Current screen

CC Floorcovering

Scale 1:100 (original drawing scale 1:96)



MACUCH STEEL PRODUCTS, INC.P.O. Box 3285
Augusta, GA 309141527 Augusta Ave.
Augusta, GA 30901Phone: (706)823-2420
Fax: (706)396-6199**CHANGE ORDER REQUEST # 7**

Contractor: Attention: Address: Phone #:	Monteith Construction Graham Smith	Date: Job Name: Job Location: Job Number: Change Order Request #: Submitted By: Attachments:	7/9/2021 Brunswick County Courthouse Bolivia, NC 120679 7 Gary Cowart Yes No
---	---------------------------------------	---	---

Description of Work

Additional Rails per RFP 33 dated June 29, 2021

Detailing	1 hours	\$	85		
Material		\$	600		\$ 685.00
Labor	hours	\$	-		
PM Time		\$	-	10% Overhead	\$ 68.50
				5% Profit	\$ 37.60
Freight		\$	-	Tax @ 6.75%	\$ 53.40
				Sub-Total	\$ 844.50
Erection Labor		\$	300.00	Erection	\$ 300.00
				10% Overhead	\$ 30.00
				5% Profit	\$ 16.50
				Sub-Total	\$ 346.50

Railing LF increased was orientation of room changed. Roughly 15 LF

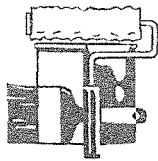
Additional Time Requested (number of days added to our schedule) 5 day(s)

This remains simply a Change Order Request until Macuch Steel receives a signed document from you with the adjusted contract amount. Work will not be performed until the executed Change Order is received.

Detailed Drawings Included ☒
Delivered to Jobsite ☐Sales Tax Included ☒
Work Performed ☐

Internal use only

Approved: _____
Date: _____**TOTAL \$1,191.00**



Proposal

Duncan's Paint and Wallpaper, Inc.

5946 Red Hill Rd. • Whiteville North Carolina 28472

Phone: (910) 642-7442 • Cell: (910) 840-9936 • Fax: (910) 642-0117

PROPOSAL SUBMITTED TO Matt Britten Monteith		PHONE	DATE 7/1/2021
STREET		JOB NAME RFP 33	
CITY, STATE, AND ZIP CODE		JOB LOCATION BCH	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for:

**RFP 33 Door 2100F field stain
Paint 2 New HMF**

Repaint Rm 2124, 2/23

All Labor + materials

\$ 2,380

We Propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of: _____ dollars (\$ **2,380**).

Payment to be made as follows:

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized
Signature

Note: This proposal may be withdrawn by us if not accepted within _____ days.

Acceptance of Proposal — the above prices, specifications and conditon are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: _____

Signature _____

Signature _____



CHANGE ORDER PROPOSAL

July 1, 2021

Monteith Construction

Attn: Matt Brittan

Project: Brunswick County Courthouse

Proposal #: J1330 – RFP 33

Proposal:

- Door 2100F - to provide new opening 3070, C45 UL rated, per below.
 - One new hollow metal frame (standard three sided, 16 gauge, cold rolled steel, 2" head, 6" jamb, metal stud anchors, welded)
 - One new wood door flush, unfinished. ← Field stain by Duncan
 - One hardware set 12 to included items listed below

Quantity	Description	Model Number
3	HINGE	CB1279 4.5 X 4.5 NRP 26D
1	RIM EXIT DEV	98L-BE-F-(06 LEVER)-630
1	CLOSER	4040XP-Rw/PA-SNB-AL
1	KICKPLATE	8400 12 X 34 630
1	WALL STOP	407CCV-630
1	GASKETING	5050C-17'

- Doors 2123A, 2123B, 2124A, and 2128A – nothing included. All material to be salvaged and reused.

**Total add of \$3,305.00 PLUS TAX
(Grand Total: \$3,528.09 including 6.75% Sales Tax)**

Prepared by:

April Little

****If accepted, please sign below and return immediately. A formal change order should be provided within 15 days. Failure to provide formal change order may delay shipment of materials. ****

Approved by: _____ Date: _____



GREY INTERIORS, LLC
261 N. Front Street
Wilmington, NC 28401
Office: (843) 839-2051
greyinteriors@greyintl.com

PROPOSAL:

Project: Brunswick County Courthouse
Location: Bolivia NC
Architect: Sawyer, Sherwood & Assoc.

Date: 7/16/21
Plans:
Dated:
RFC: 0

Description: Per Direction of MCC, Grey Interiors proposes to supply all material, labor and equipment necessary to carry out work outlined in RFP 33. This includes; installation of door frames, doors, and hardware 2100F, 2123A, 2123B, 2124A, 2128A; framing, hanging and finishing new walls at 2100D and 2100F; framing, hanging and finishing hard ceiling at courtroom #6 ramp. Also includes credit for deletion of walls in Courtroom #6. Excludes nightwork, any demolition and anything associated with new casework in

Courtroom #6.

Total Base Bid: \$ 3,430.15

Exclusions: After Hours, Nighttime, Overtime, Weekend Work, Dumpsters/Bins or Anything Not Specifically Mentioned in The Above Inclusions.

Respectfully Submitted,
Grey Interiors, LLC
Michael Shook
(910) 470-7020
mshook@greyintl.com

Project Name	Brunswick County Courthouse
Project Location	Bolivia NC
Company Making Request	MCC

Reason for Change RFP #33

Date July 16, 2021 RFC Number

1.		Increase in Labor Costs	\$1,759.00
2.	01040	Increase or Decrease in Labor Burden 40% Labor Burden	\$703.60
3.		Increase or Decrease in Material Quantities and Costs	\$339.81
4.	01234	Travel	\$0.00
	1250	Lodging	\$0.00
5.	11000	Equipment Rental	\$0.00
6.		Total Lines 1-5.	\$2,802.41
7		Subcontract Fee of 20%	\$560.48
8		Total Lines 6 & 7	\$3,362.89
9	01120	Insurance 2% Fee	\$67.26

TOTAL BASE BID	\$3,430.15
-----------------------	-------------------

Owner


Architect

Contractor

Date

Date

Date

PROJECT NAME:		Brunswick County Courthouse		<div></div>				07/16/21	
PROJECT NUMBER:		2010							
PROJECT LOCATION:		Bolivia, NC							
				Estimate Details					
PHASE	ITEM DESCRIPTION	UNITS	QUANTITY	MATERIALS		SALES TAX	MATERIALS TOTAL		
				UNIT PRICE	TOTAL				
09250	5/8" Type X	SF	390	0.43	\$ 167.70	\$ 11.74	\$ 179.44		
09250	5/8" Type X	SF	-622	0.43	\$ (267.46)	\$ (18.72)	\$ (286.18)		
09250	5/8" EXP Sheathing	SF		0.82	\$ -	\$ -	\$ -		
09250	1" Shaftliner	SF		0.93	\$ -	\$ -	\$ -		
07200	R-11 Batt Insulation	SF	140	0.34	\$ 47.60	\$ 3.33	\$ 50.93		
05501	4" Stud, 20ga	LF	260	0.99	\$ 257.40	\$ 18.02	\$ 275.42		
05501	4" Stud, 20ga	LF	-270	0.99	\$ (267.30)	\$ (18.71)	\$ (286.01)		
05501	4" Trac, 20ga	LF	40	0.96	\$ 38.40	\$ 2.69	\$ 41.09		
05501	4" Trac, 20ga	LF	-30	0.96	\$ (28.80)	\$ (2.02)	\$ (30.82)		
05501	4" Slotted Slip Trac, 20ga	LF	40	2.47	\$ 98.80	\$ 6.92	\$ 105.72		
05501	4" Slotted Slip Trac, 20ga	LF	-30	2.47	\$ (74.10)	\$ (5.19)	\$ (79.29)		
05501	1-1/2" x 1-1/2" Angle	LF	40	0.89	\$ 35.60	\$ 2.49	\$ 38.09		
05501	3-5/8" Trac, 20ga	LF	76	0.48	\$ 36.48	\$ 2.55	\$ 39.03		
05501	3-5/8" Stud, 20ga	LF	108	0.52	\$ 56.16	\$ 3.93	\$ 60.09		
05501	7/8" DWC, 20ga	LF		0.5	\$ -	\$ -	\$ -		
05501	1.5" DWC, 20ga	LF		0.65	\$ -	\$ -	\$ -		
05501	2.5" C-H Studs, 20ga	LF		1.05	\$ -	\$ -	\$ -		
05501	2.5" J Trac, 20ga	LF		0.56	\$ -	\$ -	\$ -		
05503	1 1/4" Sharps/SDs	BOX	0.85	68.4	\$ 58.14	\$ 4.07	\$ 62.21		
05503	1 1/4" Sharps/SDs	BOX	-0.35	68.4	\$ (23.94)	\$ (1.68)	\$ (25.62)		
05503	10 x3/4" Pan Heads	BOX	1.25	112.8	\$ 141.00	\$ 9.87	\$ 150.87		
05503	10 x3/4" Pan Heads	BOX	-0.65	112.8	\$ (73.32)	\$ (5.13)	\$ (78.45)		
05503	C5 Trak Fast Pins	BOX	0.2	88.8	\$ 17.76	\$ 1.24	\$ 19.00		
05503	C5 Trak Fast Pins	BOX	-0.4	88.8	\$ (35.52)	\$ (2.49)	\$ (38.01)		
09252	Joint Compound All Purpose	PAIL	3.6	17.94	\$ 64.58	\$ 4.52	\$ 69.10		
09252	Joint Compound All Purpose	PAIL	-2.3	17.94	\$ (41.26)	\$ (2.89)	\$ (44.15)		
09252	Durabond	BAG	2	14.4	\$ 28.80	\$ 2.02	\$ 30.82		
09252	Durabond	BAG	-1	14.4	\$ (14.40)	\$ (1.01)	\$ (15.41)		
09252	Paper Tape	ROLL	2.2	3.3	\$ 7.26	\$ 0.51	\$ 7.77		

09252	Paper Tape	ROLL	-1.25	3.3	\$	(4.13)	\$	(0.29)	\$	(4.41)
09252	Paper Faced Corner Bead	PC	11	3.96	\$	43.56	\$	3.05	\$	46.61
09252	Paper Faced Corner Bead	PC	-14	3.96	\$	(55.44)	\$	(3.88)	\$	(59.32)
09252	Equalizer Plus (Lev 5)	PAIL		50.4	\$	-	\$	-	\$	-
01600	Small Tools/Drill Bits	Each	1.8	65	\$	117.00	\$	8.19	\$	125.19
01600	Small Tools/Drill Bits	Each	-0.2	65	\$	(13.00)	\$	(0.91)	\$	(13.91)
06030	Blocking				\$	-	\$	-	\$	-
07203	Fireproofing				\$	-	\$	-	\$	-
					MATERIALS TOTAL		SALES TAX TOTAL		TOTAL JOB	
TOTALS					\$	317.58	\$	22.23	\$	339.81

PROJECT NAME:		Brunswick County Courthouse		<div><div><div>G</div><div>GREY</div><div>INTERIORS</div></div><div>Estimate Details</div></div>			07/16/21	
PROJECT NUMBER:		2010						
PROJECT LOCATION:		Bolivia, NC						
Labor	ITEM DESCRIPTION	UNITS	QUANTITY	Labor		LABOR TOTAL		
				UNIT PRICE	TOTAL			
01040	Foreman	Hours	20	32	\$ 640.00	\$ 640.00		
01040	Foreman	Hours	-8	32	\$ (256.00)	\$ (256.00)		
01101	Exterior Labor	Hours		25	\$ -	\$ -		
01102	Interior Labor	Hours	87	25	\$ 2,175.00	\$ 2,175.00		
01102	Interior Labor	Hours	-32	25	\$ (800.00)	\$ (800.00)		
06020	Blocking Labor	Hours		25	\$ -	\$ -		
06161	Sheathing Labor	Hours		25	\$ -	\$ -		
06604	FRP Cornince Labor	Hours		25	\$ -	\$ -		
07202	Fire Proofing Labor	Hours		25	\$ -	\$ -		
07923	Air Barrier Labor	Hours		25	\$ -	\$ -		
08014	Door/Accessories Install Labor	Hours		25	\$ -	\$ -		
09257	Shaftwall Labor	Hours		25	\$ -	\$ -		
09259	Patchwork Labor	Hours		25	\$ -	\$ -		
09260	Point Up Labor	Hours		25	\$ -	\$ -		
10010	Specialties Labor	Hours		25	\$ -	\$ -		
10011	Accessories Labor	Hours		25	\$ -	\$ -		
					\$ -	\$ -		
					\$ -	\$ -		
					\$ -	\$ -		
					LABOR TOTAL		TOTAL JOB	
TOTALS					\$ 1,759.00		\$ 1,759.00	

To: **Monteith Construction**

08-Jul-21

Attn: **Matt Brittain**

Re: **Brunswick County Courthouse**
Addition & Renovation

Electrical

From: **TA Woods Company**
Mechanical/Electrical Contractors

ECPR-44 **RFP-33 Courtroom 6**

Provide changes as noted on electrical drawings for RFP-33 courtroom 6 changes. Light fixtures have 3 week lead time after release of order, lead time subject to change at manufacturer's discretion.

1	Materials	\$	1,910.75	
2	Company Owned Equipment and/or Rental	\$	45.00	see attachment
3	Expendables	\$	22.05	(.35 cents per man-hour)
4	Subtotal	\$	1,977.80	
5	Sales Tax	\$	133.75	7.00%
A.	Direct Cost Subtotal	\$	2,111.55	
				Man-Hours
6	Journeyman / Mechanic	\$	1,705.00	55.00
7	Crew Foreman	\$	272.00	8.00
8	Subtotal	\$	1,977.00	
9	Safety 1st - productivity burden	\$	39.54	(2% of labor)
10	Labor Taxes, Insurance and Fringe Benefits	\$	790.80	40%
B.	Labor Cost Subtotal	\$	2,807.34	
11	Total Cost (A+B)		\$4,918.89	
12	Field & Office General Administrative Cost		\$737.83	15%
13	Subtotal		\$5,656.73	
14	Profit		\$282.84	5%
C.	T.A. Woods Total Change		\$5,939.56	
				Subcontractors
15				
16	FA Changes	\$	198.78	BFPE
17			\$0.00	
18			\$0.00	
19	Subcontractor Subtotal		\$198.78	
20	Profit		\$29.82	15%
D.	Subcontractors Total Change		\$228.60	
E.	BOND	\$	77.72	1.26%
F.	TOTAL CHANGE (C+D)		\$6,246.00	

Due to fluctuations in commodity pricing and scheduling pricing only valid for 5 days
Extension of time requested: **2 work** days.

7/8/2021

Pete Browne, Electrical Project Manager Date

Brunswick County Courthouse
ECPR-44
RFP-33 Courtroom 6

7/8/2021

		Quant	Unit	Price	Material Total	Labor Unit	Labor Hours	Equip
SCOPE								
1	Light Fixtures	1	LS	\$1,241.75	\$1,241.75	11.250	11.25	
2	12/2 MC Cable, terminations, supports	300	LF	\$1.29	\$388.00	0.057	17.00	
3	3/4" EMT conduit, fittings, supports	30	LF	\$2.30	\$69.00	0.167	5.00	
4	#12 wire	100	LF	\$0.28	\$28.00	0.013	1.25	
5	boxes, devices, covers	17	Each	\$10.82	\$184.00	0.618	10.50	
6	Demo	1	LS	\$0.00		10.000	10.00	
7			LF	#DIV/0!		#DIV/0!		
8			LS	#DIV/0!		#DIV/0!		
9								
10								
Sub Totals					\$1,910.75		55.00	0.00
11 MISC								
	Labels - Phenolic		Each	\$	-			
Sub Totals					\$			-
12 Direct Supervision (Crew Foreman)								
		0	LS			7.86	8.00	\$45.00
13 "Just in Time Placement & Handling"								
	Loading & Unloading -	0	lbs			0.030	0.00	
	Loading & Unloading - Roof	0	lbs			0.040	0.00	
	Materials Handling - Lull		LS				0.00	
Sub Totals							0.00	45.00
14 Rentals								
			Weekly					
			\$75.00					\$0.00
	Excavator		\$600.00					\$0.00
	Skid Steer		\$265.00					\$0.00
	Tamps		\$225.00					\$0.00
	Delivery and P/U		\$200.00					\$0.00
Sub Total								\$0.00
15 Totals					\$1,910.75		55.00	\$45.00

Bettina Acosta

From: Joe Smith <jsmith@tawoods.com>
Sent: Monday, July 19, 2021 10:51 AM
To: Matthew Brittan
Cc: Bettina Acosta; Daniel Hart
Subject: RE: Brunswick County Courthouse - ARP 125 Courtroom #6 Revisions electrical

see below

Respectfully,
Joseph Smith
Vice President



Mechanical | Plumbing | Electrical
6713 Netherlands Drive
Wilmington, NC 28405
Phone: 910.452.7900 ext.120
www.tawoods.com



From: Matthew Brittan <mbrittan@monteithco.com>
Sent: Friday, July 16, 2021 1:23 PM
To: Joe Smith <jsmith@tawoods.com>
Cc: Bettina Acosta <bacosta@monteithco.com>; Daniel Hart <dhart@monteithco.com>
Subject: FW: Brunswick County Courthouse - ARP 125 Courtroom #6 Revisions electrical

Joe – See comments below for RFP 33. This will be the first of 3 emails, FYI.

Can you please resubmit/justify pricing as necessary?

Matt Brittan
Project Manager
M: 808.354.1757
O: 910.791.8101



From: Jenny Williams <jenny@s2a3.com>
Sent: Friday, July 16, 2021 1:12 PM
To: Matthew Brittan <mbrittan@monteithco.com>

Cc: john sawyer Architect <john@s2a3.com>

Subject: FW: Brunswick County Courthouse - ARP 125 Courtroom #6 Revisions electrical

Matt,

See electrical comments below for ARP #125 Courtroom #6 Revisions.

Thanks,

Jenny Williams, AIA



124 Market Street
Wilmington, NC 28401
910.762.0892
S2a3.com

From: Mark Ciarrocca <mciarrocca@cheathampa.com>

Sent: Friday, July 16, 2021 1:08 PM

To: Jenny Williams <jenny@s2a3.com>

Cc: john sawyer Architect <john@s2a3.com>; Casey Gilman <cgilman@cheathampa.com>

Subject: FW: Brunswick County Courthouse - ARP 125 Courtroom #6 Revisions

Jenny,

Comments:

		Quant		Unit Price	Ma To
SCOPE					
1	Light Fixtures	1	LS	\$1,241.75	
2	12/2 MC Cable, terminations, supports	300	LF	\$1.29	
3	3/4" EMT conduit, fittings, supports	30	LF	\$2.30	

1. Seems reasonable.
2. Similar to previous comments – inconsistency in pricing between ARPs. For MAT, we have seen \$1.00/ft, \$1.45/ft, and \$1.29/ft here. For LABOR, 0.054, 0.045, and 0.057 here.
material is always fluctuating, we are pricing based on a weekly hot sheet we get from vendors
labor fluctuates depending on the level of difficulty of the installation
3. 1" EMT labor proposed at 0.144 on ARP 177 – why 0.167 here for 3/4" EMT?
working above grid is more time consuming than in a stud wall
4. We have seen varying numbers for this also. MAT 0.30, 0.25, and 0.28 here. LAB 0.01, 0.012, and 0.0913 here.
the shorter the run the higher the labor average as you still have to get the

rolls of wire together, make up the head to get connected to the fish tape and pull the wire

Regards,

Mark A. Ciarrocca, P.E.

Cheatham & Associates, PA | Consulting Engineers

3412 Enterprise Drive, Wilmington, NC 28405

mciarrocca@cheathampa.com ♦ Phone: 910-452-4210 ♦ Mobile: 910-620-0099

From: Jenny Williams <jenny@s2a3.com>

Sent: Wednesday, July 14, 2021 4:52 PM

To: Mark Ciarrocca <mciarrocca@cheathampa.com>; Casey Gilman <cgilman@cheathampa.com>

Cc: John Sawyer Architect <john@s2a3.com>

Subject: Brunswick County Courthouse - ARP 125 Courtroom #6 Revisions

Good afternoon,

And here's another ARP. This one is for RFP #33 Courtroom #6 Revisions.

Please review the fire protection and electrical cost proposals and let us know if you have any comments.

Thanks,

Jenny Williams, AIA



124 Market Street
Wilmington, NC 28401
910.762.0892
S2a3.com



2001 BLUE CLAY RD
WILMINGTON, NC 28405-8601

PHONE (910) 790-1909
FAX (910) 790-8636

Quoted To Customer

T A WOODS COMPANY
6713 NETHERLANDS DR
WILMINGTON, NC 28405-3776

Phone (910) 452-7900
Fax (910) 452-7913

Job Name

BCCH Fixtures

Quote No.

0025363

Date

7/08/21

Page

1

Expiration Date

7/20/21

Revised Date

7/08/21

Bid Due Date

7/08/21

Quoted By

Grant Johnson
RGJohnson@WINlectric.com
(910) 790-1909

Customer	Payment Terms	Quoted To	Salesperson	FOB
000169	1% 10TH, NET 25TH PROX	JOE SMITH	JOSEPH MARSTON	S

Line	Qty.	Description	Unit Price	UOM	Extended Price
1.0	2	HUBBELL LCAT22-35MLG-EDU LCAT22-35MLG-EDU TYPE B22F	107.0312	EA	214.06
2.0	2	HUBBELL FK22 FK22 TYPE B22F KIT	28.4500	EA	56.90
3.0	3	EMERGI-LITE TYPE X ELXN400RN	28.3500	EA	85.05
4.0	2	HUBBELL LCAT22-35MLG-EDU LCAT22-35MLG-EDU TYPE B22	107.0312	EA	214.06
5.0	2	HUBBELL LCAT24-35HLG-EDU LCAT24-35HLG-EDY TYPE B3	123.4200	EA	246.84
6.0	1	EMERGI-LITE 12MPR12H2LJ 12MPR12H2LJ TYPE EG	204.1200	EA	204.12
7.0	2	HUBBELL OMNIDT2000 OMNIDT2000 TYPE COS LEAD TIME 2-3 WEEKS	110.3600	EA	220.72

Tax Area Id	Net Sales	1,241.75
341290000	Freight	.00
	Tax	86.92
	Quotation Total	1,328.67

CHANGE ORDER

[illegible]

SubContractor's Change Order Proposal Cover (Sheet "A")

Brunswick Courthouse Addition & Renovation

(Form used for 1st, 2nd, 3rd tier subs)

Monteith Construction

Detailed Scope Of Work: Proposal includes material, labor and equipment cost associated with temporary plastic barriers maintenance for continued cleanliness in occupied spaces and door and hardware handling. Price excludes full temporary walls pending the start of RFP 33 scope.

C.O.R. Total*	\$ 2,823.06
---------------	-------------

(Signature here):

Date: 7.20.21

(Type name here): Matt Brittan

Brunswick Courthouse

SubContractor Summary - (Sheet "B")				
<div style="border: 1px solid black; width: 200px; height: 40px; margin: 0 auto;"></div>				
Summary of SubContractor's Self Performed Work				
(1.) (= line e. from Sheet "C").	Total Material*	\$	1,109.06	
(2.) (=Line e. from Sheet "D").	Total Labor*	\$	1,624.00	
(3.) (= line e. from Sheet "E").	Total Equipment*	\$	90.00	
(4.) (=lines 1 + 2 + 3)	Self Performed Work*	\$	2,823.06	
Summary of other Quoted Work (subcontracts)				
(5.) Quote - Subcontractor #1	Quote #1 Total* (without OH&P)	\$	-	
(6.) Quote - Subcontractor #2	Quote #2 Total* (without OH&P)	\$	-	
(7.) Quote - Subcontractor #3	Quote #3 Total* (without OH&P)	\$	-	
(8.) (lines 5 + 6 + 7)	Quoted (subcontract) Work*	\$	-	
(9.) (on line 8)	8% max)	20%	OH&P	\$ -
(10.) (lines 8 + 9)	Total - Quoted (subcontract) Work*	\$	-	
(11.) (lines 4 + 10)	Total - Self Performed & Quoted (subcontract) Work* (less bond, ins, &	\$	2,823.06	
(12.) (on line 11.)	(if applicable)	0.00%	Bond*	\$ -
(14.) (lines 14 + 16)	C.O.R. Total - All Work*	\$	2,823.06	
* Do Not Round Off Numbers				

SubContractor Material Break Down - (Sheet "C")

[illegible]

	a.	Raw Total*	\$	875.00
(on line b.)	b.	6.75%	Sales Tax	\$ 59.06
		Subtotal	\$	934.06
(on line a.)	c.	20%	OH&P	\$ 175.00
(lines a. + b. + c.)	d.	Total Material*	\$	1,109.06

*** Do Not Round Off Numbers**

SubContractor Labor Break Down (Sheet "D")

Labor Description	Time			Cost		Extension*
		Unit			Unit	
Door and hardware offloading/handling	4.00	HR	@	\$ 35.00 /HR	= \$	140.00
Cleaning	25.00	HR	@	\$ 25.00 /HR	= \$	625.00
Wood Door & Casework Touchup	1.00	LS	@	\$ 250.00 /LS	= \$	250.00
		@	/		= \$	-
		@	/		= \$	-
		@	\$ - /		= \$	-
		@	\$ - /		= \$	-
		@	\$ - /		= \$	-
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		@	\$ - /		= \$	-
		@	\$ - /		= \$	-
		@	\$ - /		= \$	-
a.	Raw Total*				\$	1,015.00
b. on line a.	40%		Burden	\$		406.00
c. on line a.	20%		OH&P	\$		203.00
d. (lines a. + b. + c.)	Total Labor*				\$	1,624.00

* Do Not Round Off Numbers

SubContractor Equipment Break Down (Sheet "E")

Equipment Type	Rental Per Hour		Rental Per Day		Rental Per Week		Rental Per Month		Extension*		
	Hour(s)	Charge	# Day(s)	Charge	# Week(s)	Charge	# Month(s)	Charge			
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ /mth(s)	\$ -		
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -		
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -		
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -		
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -		
a.									Raw Equipment*	\$ -	
Shipping Breakout											
Equipment Type	Unit		Unit Cost							Extension	
Dumpster	0.2	@	\$ 450.00							\$ 90.00	
		@	\$ -							\$ -	
b.									Shipping Cost*	\$ 90.00	
(No sales tax charge on contractor owned equipment) Enter 0 on line c. if contractor owned											
c.									(on line a.)	6.75% Sales Tax	\$ -
d.									(on line a.)	20% OH&P	\$ -
e.									(lines a. + b. + c. + d.)	Total Equipment*	\$ 90.00
* Do Not Round Off Numbers											

CHANGE ORDER

PAUL BARBOUR & SON, INC.

Acoustical Ceiling and Commercial Flooring Contractors

P.O. Box 1129

Fuquay-Varina, North Carolina 27526

Telephone (919) 552-0747

Telefax (919) 552-0646

Attn:	Graham Smith	Date:	6/30/21
Project:	Brunswick County Courthouse	Estimator:	Bryan Barbour
Location:	Bolivia, NC	Change Order -	#9

Work Description

Price is to add grid work per RFP 33

Main areas of focus are around North end of Courtroom and adding extra grid.

Labor - \$ 620.00

Material - \$ 651.00

Note: This revision becomes part of, and in conformance with, the existing contract.

We Agree hereby to make changes as specified above, for a Price of: \$ Add \$ 1,271.00
Change Order Work outside the contract documents WILL NOT be Performed and Materials will not be procured until Written Notification is issued to Paul Barbour & Son, Inc.

Verbal request by a Contractor's employee in the field Does Not Constitute Approval of changes in the work to the Original Contract Documents.

Accepted: The above prices and specifications of this Change Order are satisfactory and are hereby accepted. All work to be performed under same terms and conditions as specified in the original Subcontract/PO and becomes part of the existing Subcontract/PO.

Company Name:

Company: Paul Barbour & Son, Inc.

By: _____

Name: _____

Title: _____

Date: _____

By: _____

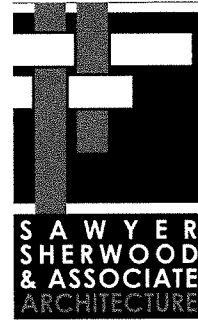
Name: Bryan Barbour

Title: Vice President

Date: 7/20/21

****Execute and return authorized Change Order to Paul Barbour & Son, Inc. to initiate Change Order work to be performed. Change Order will remain pending until official written documentation is received by Paul Barbour & Son, Inc.**

Brunswick County Courthouse Addition & Renovations
Request for Proposal 33
Courtroom 6 Revisions



June 29, 2021

To: Mr. Matt Brittan
Monteith Construction
208 Princess St
Wilmington, North Carolina 28401

Matt,

Please provide a cost for the changes made to Courtroom #6 and its adjacent spaces.
See the following revised drawings:

Architectural:

- AD1.1 Second Floor Demolition Plan, Note, MCC advised previously that this demolition was included in ARP 115.
- A1.1 Second Floor Plan
- A1.5 Second Floor Reflected Ceiling Plan
- A4.6 Courtroom #6 Enlarged Plan & Casework
- A6.0 Door & Finish Schedules
- A6.1 Door & Finish Schedules

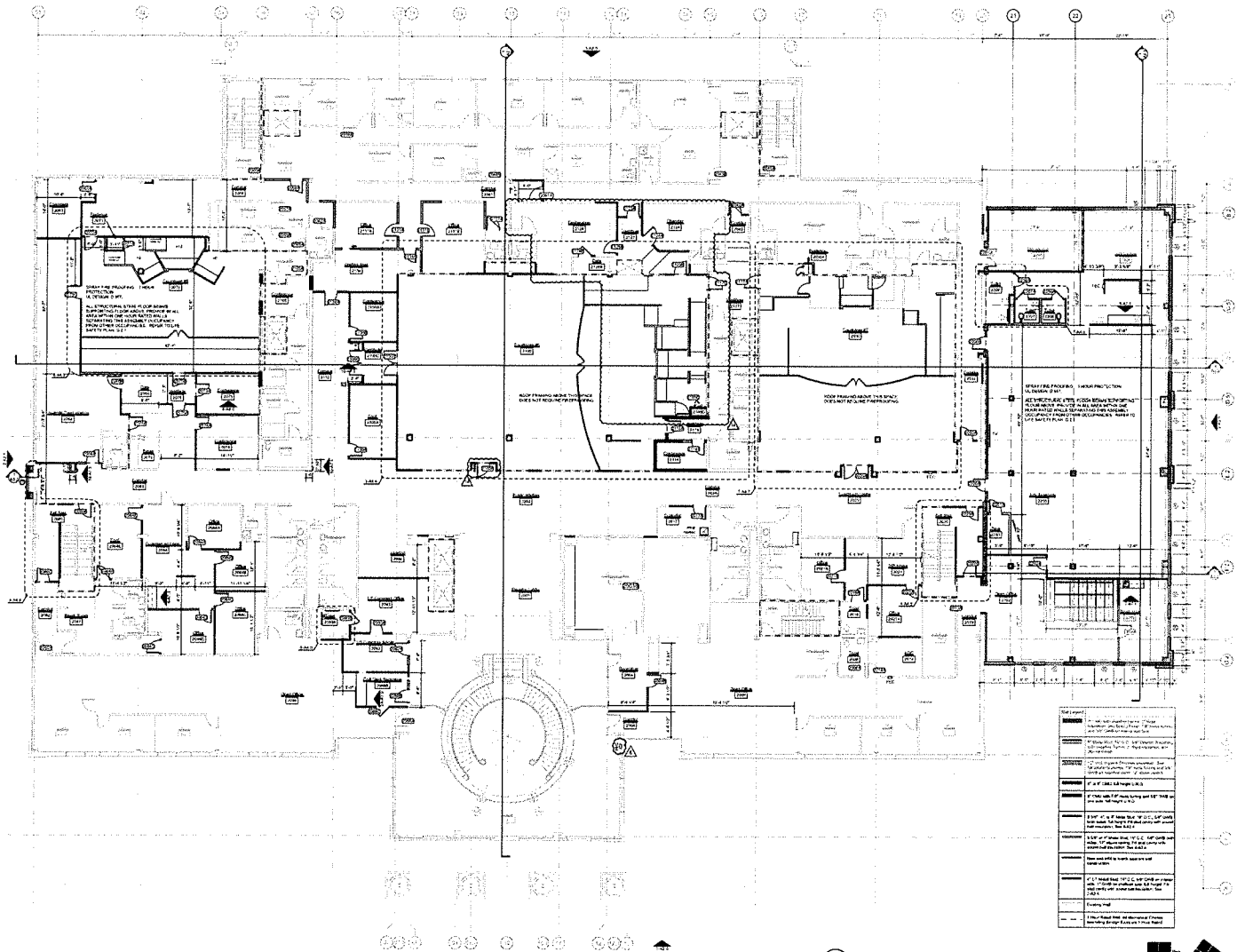
Electrical:

- ED1.5 Electrical 2nd Floor Lighting Demolition Plan
- E1.4 Electrical 2nd Floor Power Plan
- E1.5 Electrical 2nd Floor Lighting Plan
- E1.6 Electrical 2nd Floor Auxiliary Systems Plan

The following door & hardware changes apply; refer to revised architectural floor plans for door numbers:

- Door 2100F
 - o New 3'-0" x 7'-0" x 1-3/4" WD x HMF
 - o Assign to Bid Hardware Set 12.0
- Door 2123A
 - o Salvage and reuse existing frame, door, and hardware
- Door 2123B
 - o Salvage, relocate, and reuse existing frame, door, and hardware
- Door 2124A
 - o Salvage and reuse existing frame, door, and hardware
- Door 2128A
 - o Salvage and reuse existing frame, door, and hardware

John R. Sawyer, AIA



Second Floor Plan
A1.1

**SAWYER
SHERWOOD
& ASSOCIATE
ARCHITECTURE**

**CHUBB TRAUTMAN
ENGINEERS**
CONSULTING ENGINEERS
101 S. 1st St., Suite 200
Wilmington, NC 28401
919.733.1111
www.chubbtrautman.com



**Brunswick
County
Courthouse
Addition &
Renovations**

Bolivia, NC

Construction Drawings

Set Number 23-2019

Revised:

ADDENDUM 1

ADDENDUM 2

ADDENDUM 3

ADDENDUM 4

REVISION REPORT REVIEW

Door Hardware Review

RFI 04 - Court of Court

RFI 05 - Data Room

RFI 06 - Data Room

RFI 07 - Court 0001 Drive

RFI 08 - Courtroom

RFI 09 - Courtroom

RFI 10 - Courtroom

RFI 11 - Courtroom

RFI 12 - Courtroom

RFI 13 - Courtroom

RFI 14 - Courtroom

RFI 15 - Courtroom

RFI 16 - Courtroom

RFI 17 - Courtroom

RFI 18 - Courtroom

RFI 19 - Courtroom

RFI 20 - Courtroom

RFI 21 - Courtroom

RFI 22 - Courtroom

RFI 23 - Courtroom

RFI 24 - Courtroom

RFI 25 - Courtroom

RFI 26 - Courtroom

RFI 27 - Courtroom

RFI 28 - Courtroom

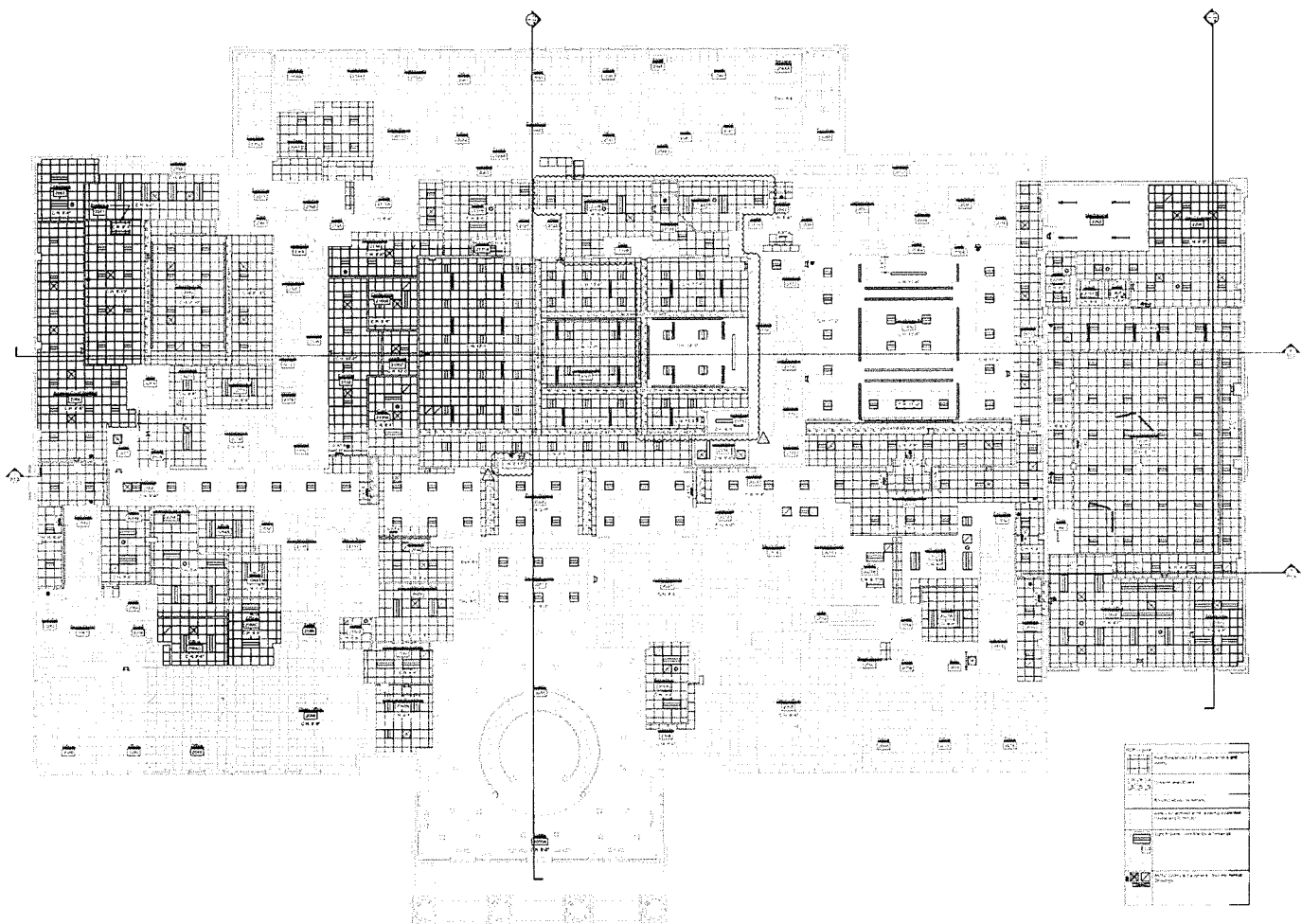
RFI 29 - Courtroom

RFI 30 - Courtroom

RFI 31 - Courtroom

RFI 32 - Courtroom

RFI 33 - Courtroom



1
A1.5 Second Floor Reflected Ceiling Plan



Brunswick County Courthouse Addition & Renovations

Bolivia, NC

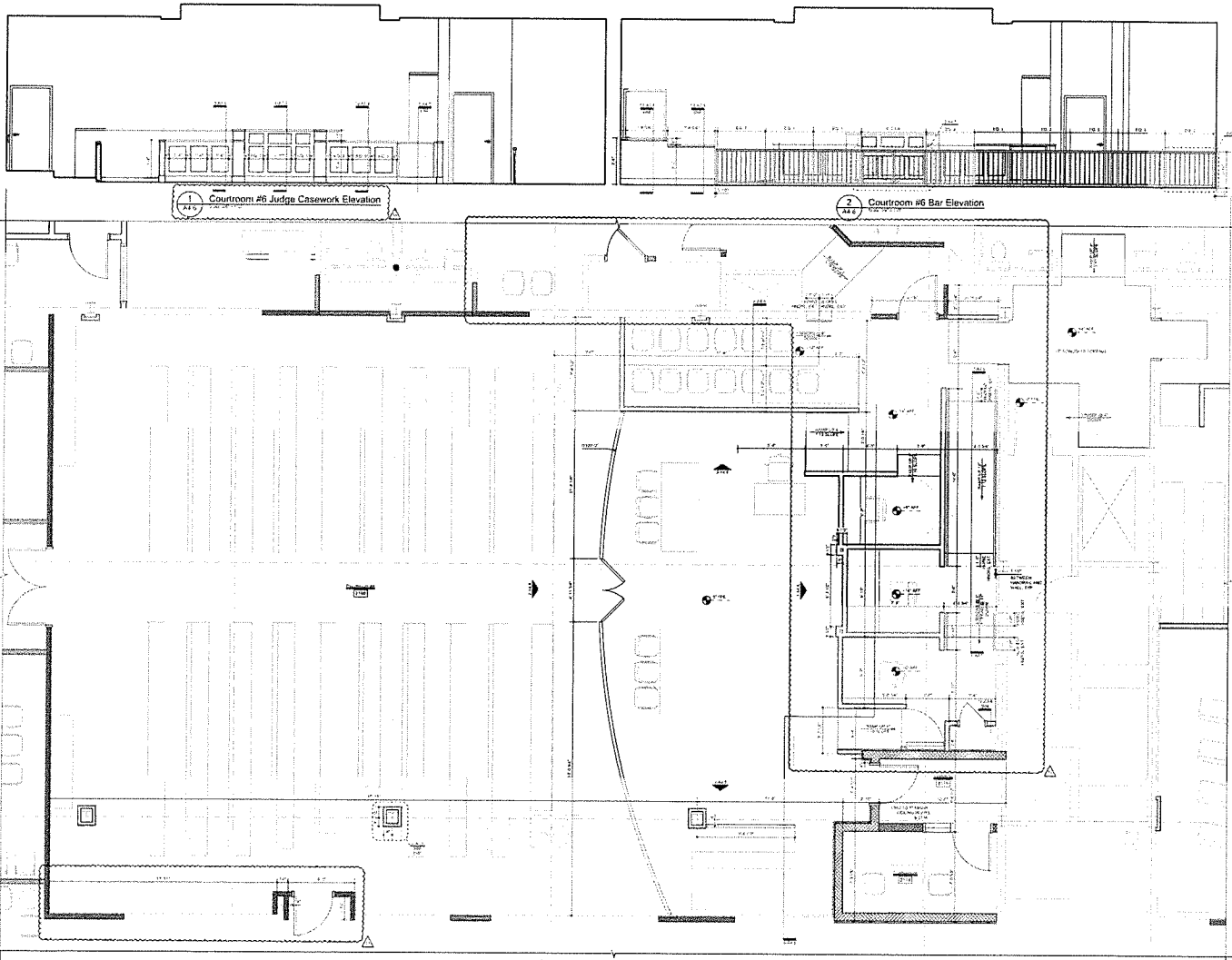
Construction Drawings
September 12, 2019

- Revisions:
- 1. ASSEMBLY 3
 - 2. ASSEMBLY 4
 - 3. BUILDING PERMIT REVIEW
 - 4. RCP coordinate: 01/02/20
 - 5. 01/02/20
 - 6. RFP 04 - End of Court
 - 7. 01/02/20
 - 8. RFP 08 - Data Room
 - 9. 01/02/20
 - 10. RFP 12 - Corridor 2061
 - 11. 01/02/20
 - 12. RFP 20 - Corridor 3
 - 13. 01/02/20
 - 14. RFP 20 - Corridor 3
 - 15. 01/02/20

Second Floor
Reflected
Ceiling Plan

A1.5

06 of 42



1 Courtroom #6 Judge Casework Elevation

2 Courtroom #6 Bar Elevation

3 Courtroom #6 2100 Enlarged Plan



Brunswick County
Courthouse
Addition &
Renovations
Bolivia, NC

Construction Drawings
September 25, 2019

- Revisions:
- ADDENDUM 1
 - ADDENDUM 4
 - NEW FROM BIR LINDSEY
 - REF. 31 COURTROOM 6 RENOVATIONS

Courtroom #6
Enlarged Plan &
Casework
A4.6

1

□

附录





	<p>Assignment: Play Store</p> <p>1. The teacher provides the groups for more than 10 min.</p> <p>2. Students identify the box and its parts.</p> <p>3. Students identify the parts and label them.</p> <p>4. Students identify the parts and label them.</p> <p>5. Students identify the parts and label them.</p>
	<p>Assignment: Play Store</p> <p>1. The teacher provides the groups for more than 10 min.</p> <p>2. Students identify the box and its parts.</p> <p>3. Students identify the parts and label them.</p> <p>4. Students identify the parts and label them.</p> <p>5. Students identify the parts and label them.</p>



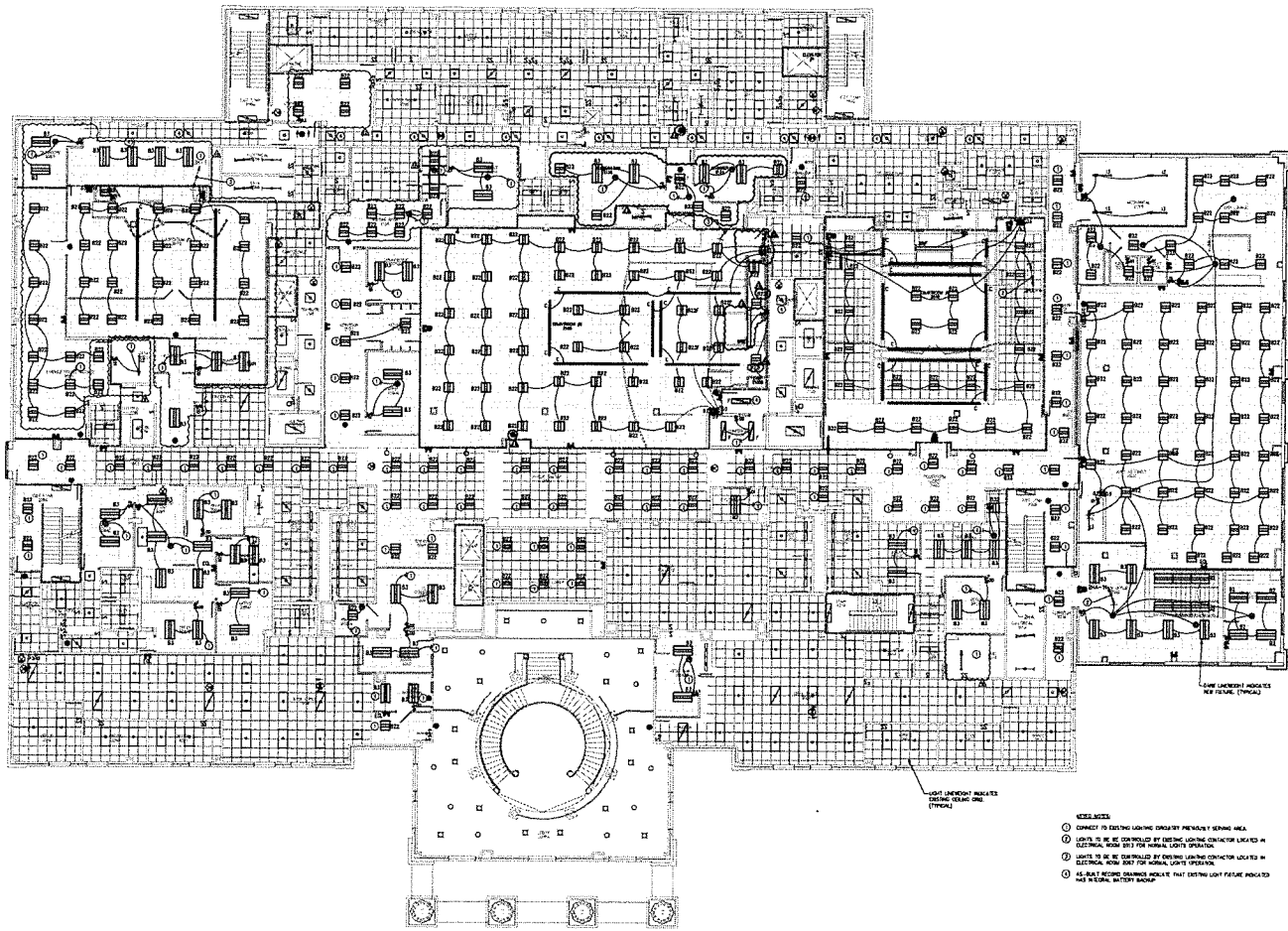
Construction Drawings
September 23, 2019

Revisions:

- 1 ADDENDUM 3
- 2 ADDENDUM 4
- 3 RFP 04 - Conf. of Court Officers 6-10-20
- 4 RFP 26 - Courtroom 3 Revisions
- 5 RFP 33 - Courtroom 6 Revisions

Second Floor
Demolition Plan

AD1.1



ELECTRICAL 2ND FLOOR LIGHTING PLAN
 Scale: 1/8" = 1'-0"

DATE: 10/10/17
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

- NOTES:**
1. CONNECT TO EXISTING LIGHTING CIRCUITRY PREVIOUSLY SHOWN AREA.
 2. LIGHTS TO BE AS SHOWN BY EXISTING LIGHTING CONTRACTOR LOCATED IN ELECTRICAL ROOM 2012 FOR NORMAL LIGHTS OPERATING.
 3. LIGHTS TO BE AS SHOWN BY EXISTING LIGHTING CONTRACTOR LOCATED IN ELECTRICAL ROOM 2012 FOR NORMAL LIGHTS OPERATING.
 4. ALL NEW LIGHTING FIXTURES SHALL BE THAT EXISTING LIGHT FIXTURE INDICATED HAS NORMAL SWITCHING.



**Brunswick
County
Courthouse
Addition &
Renovations**
 Bolivia, NC

CONSTRUCTION DRAWING
 SEPTEMBER 23, 2017

Revisions:

NO.	DATE	DESCRIPTION
1	10/10/17	1. 1/8" = 1'-0"
2	10/10/17	2. 1/8" = 1'-0"
3	10/10/17	3. 1/8" = 1'-0"

**ELECTRICAL
2ND FLOOR
LIGHTING PLAN**

E1.5



**Brunswick
County
Courthouse
Addition &
Renovations**

Salvia, NC

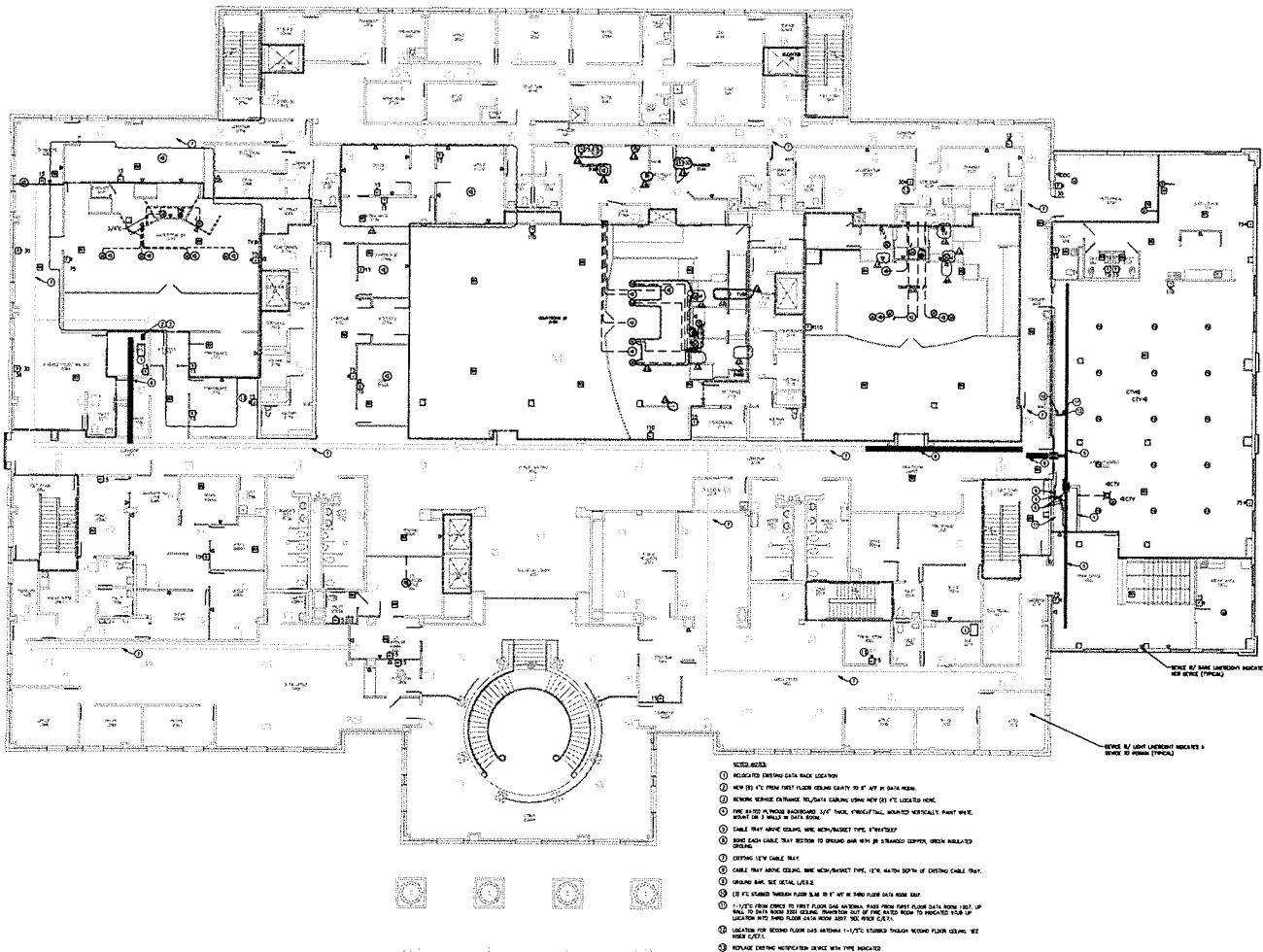
CONSTRUCTION DRAWINGS
SEPTEMBER 23, 2018

Revisions

REV	DATE	DESCRIPTION
1	09/20/18	ISSUED FOR PERMIT
2	09/20/18	ISSUED FOR PERMIT
3	09/20/18	ISSUED FOR PERMIT
4	09/20/18	ISSUED FOR PERMIT

**ELECTRICAL
2ND FLOOR
AUXILIARY SYSTEMS
PLAN**

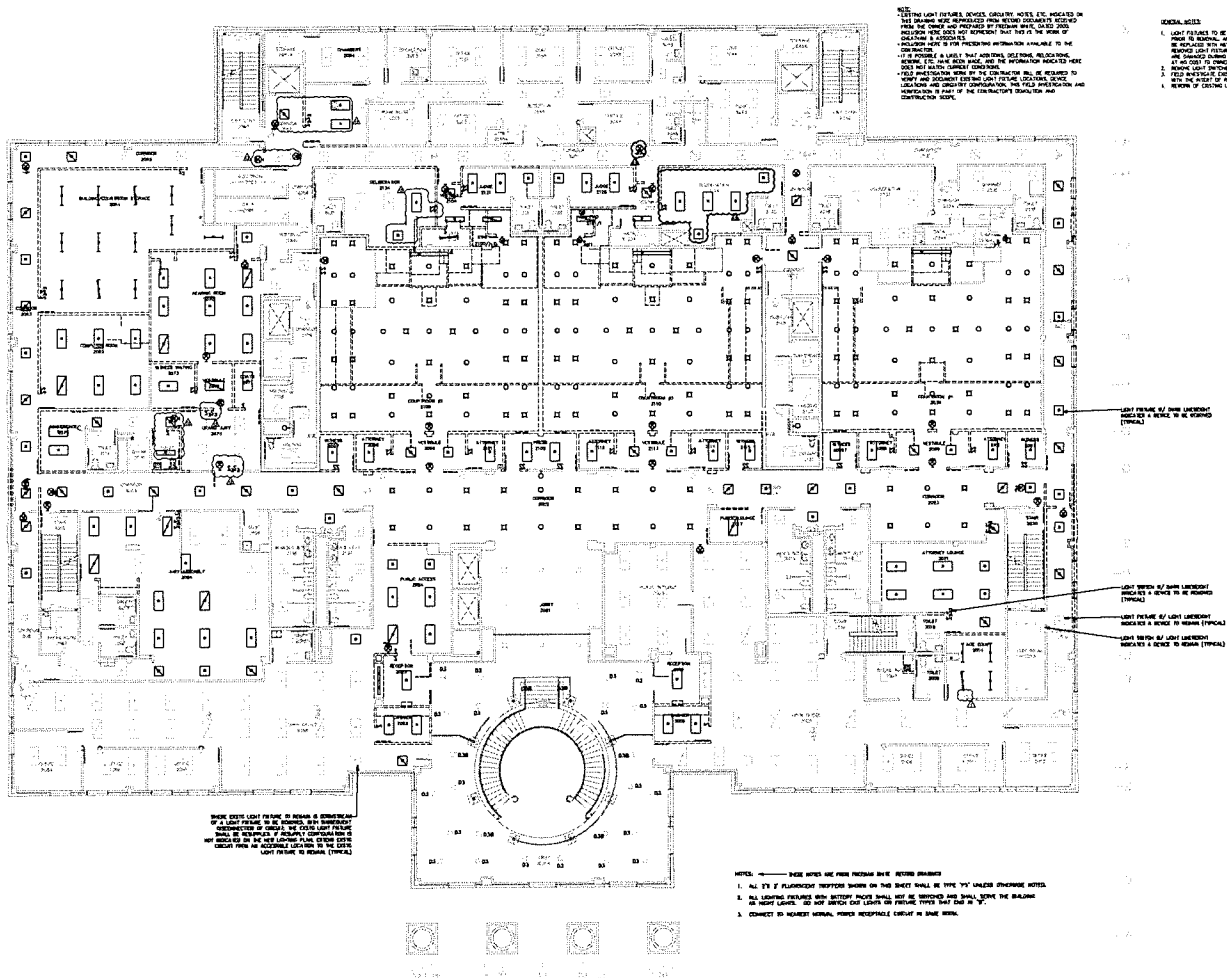
E1.6



- NOTES:**
1. RELocate EXISTING DATA RACK LOCATION.
 2. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 3. REMOVE SERVICE ENTRANCE REL/DATA CABLES USING NEW 12" PVC LEADS HERE.
 4. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 5. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 6. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 7. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 8. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 9. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 10. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 11. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 12. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 13. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 14. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 15. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 16. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 17. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 18. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 19. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.
 20. NEW 12" PVC FROM FIRST FLOOR CEILING DUCTS TO 8" W/ 1" DATA RACK.

ELECTRICAL 2ND FLOOR AUXILIARY SYSTEMS PLAN
SCALE: 1/8" = 1'-0"

GRAPHIC SCALE: 1/8" = 1'-0"



NOTE: LISTING LIGHT FIXTURES, DEVICES, CIRCUITRY, MOVES, ETC. LOCATED ON THIS DRAWING WERE REPRODUCED FROM RECORD DOCUMENTS RECEIVED FROM THE OWNER AND PREPARED BY FREEMAN WHITE, DATED 2003. FREEMAN WHITE DOES NOT GUARANTEE THAT THIS IS THE WORK OF FREEMAN WHITE OR A SUB-CONTRACTOR.

INCLUSION HERE IS FOR PRESENTING INFORMATION AVAILABLE TO THE CONTRACTOR.

IT IS POSSIBLE A LEVEL THAT ADDITIONS, DELETIONS, RELOCATIONS, ETC. HAVE BEEN MADE, AND THE INFORMATION INDICATED HERE DOES NOT MATCH CURRENT CONDITIONS.

FIELD INVESTIGATION BY THE CONTRACTOR WILL BE REQUIRED TO VERIFY AND DOCUMENT ALL EXISTING FIXTURE LOCATIONS, DEVICE LOCATIONS AND CIRCUITRY CONFIGURATION. THIS FIELD INVESTIGATION AND VERIFICATION IS PART OF THE CONTRACTOR'S OBLIGATION AND

GENERAL NOTES

1. LIGHT FIXTURES TO BE REMOVED SHALL BE EXAMINED BY CONTRACTOR PRIOR TO REMOVAL. ANY FIXTURES WITH DAMAGED LENS OR LAMP SHALL BE REPLACED WITH NEW PRIOR TO INSTALLATION IN NEW LOCATION. STORE REMOVED LIGHT FIXTURES FOR RE-INSTALLATION. IF ANY LIGHT FIXTURES ARE DAMAGED DURING STORAGE, CONTRACTOR SHALL REPLACE WITH NEW AT HIS COST TO OWNER.
2. REMOVED LIGHT SWITCHES IN WALLS TO BE DEMOLISHED.
3. FIELD INVESTIGATE EXISTING HOUSING, OCCUPANCY SUPPLYING LIGHT FIXTURES IN THE AREAS OF REMOVING HOUSINGS FOR NEW LIGHTING.
4. REVIEW OF EXISTING LIGHTING CONDITIONS SHALL BE REQUIRED.

WHERE EXISTING LIGHT FIXTURE IS REMOVED, IS DOWNSIDE OF A LIGHT FIXTURE TO BE REMOVED, WITH SUBSEQUENT DISCONNECTION OF CIRCUIT, THE EXISTING LIGHT FIXTURE SHALL BE REPLACED, IF REPLACEMENT CONFORMANCE IS NOT INDICATED ON THE NEW LIGHTING PLAN, EXISTING EXITS CIRCUIT FROM AN ACCESSIBLE LOCATION TO THE EXISTING LIGHT FIXTURE TO BE REMOVED (TYPICAL)

NOTE: — THESE WORDS ARE FROM PRINCIPLES OF LIFE, REVISED EDITION

1. ALL IT'S PLUMBED INTRUSIONS SHOWN ON THIS SHEET SHALL BE TYPE "Y" UNLESS OTHERWISE NOTED.
2. ALL LIGHTING FIXTURES WITH BATTERY PACKS SHALL NOT BE SWITCHED AND SHALL SERVE THE BALANCE AS NIGHT LIGHTS. DO NOT SWITCH ORS LIGHTS OR FIXTURE TYPES THAT END IN "Y".
3. CONNECT TO NEAREST NORMAL POWER RECEPTACLE CIRCUIT IN SAME ROOM.

 ELECTRICAL 2ND FLOOR LIGHTING DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

Diagram of a three-span continuous beam with a uniformly distributed load. The beam is supported by three vertical supports. A downward arrow labeled 'w' indicates the load. A horizontal arrow labeled 'L' indicates the span length. A vertical arrow labeled 'R' indicates the reaction at the middle support.



DEATHAM AND ASSOCIATES, P.
CONSULTING ENGINEERS
1000 UNIVERSITY DRIVE
ANN ARBOR, MI 48106-1500



**Brunswick
County
Courthouse
Addition &
Renovations**

Bošnia, NC

CONSTRUCTION DRAWING
SEPTEMBER 23, 2012

Revising:

REP 21 - COLLEGE	1/13/7
ELECTRICAL REVISIONS	
REP 29 - COLLEGE	09/18/7
REVISIONS	
REP 33 - COLLEGE	06/25/7
REVISIONS	

ELECTRICAL
2ND FLOOR
LIGHTING
DEMOLITION PLAN

ED1.5

Allowance Reduction Proposal



Wilmington
Raleigh
Charleston

208 Princess
Wilmington, NC 28401
P: 910-791-8101
monteithco.com

Date: 7.21.21

Project: Brunswick County Courthouse Addition & Renovations

Owner Address: 310 Government Center Drive, NE
Bolivia, North Carolina 28422

ARP #: 117 R.1 - RFP 32 3rd Floor Revisions

Proposal includes all labor, material, and equipment cost associated with RFP 32 3rd floor revisions. Time Extension and General Conditions are required, but excluded from the proposal and will be submitted once a start date is provided. Scope is also priced for normal working hour. Temporary zip walls are included in pricing, but full partitions are excluded based on start date.

<u>Subcontractor</u>	<u>Proposal Total</u>
<u>Arrowood R.1</u>	<u>\$5,860.00</u>
<u>Grey Interiors</u>	<u>\$5,037.82</u>
<u>East Coast Access R.1</u>	<u>\$4,494.18</u>
<u>Duncan Paint R.1</u>	<u>\$850.00</u>
<u>Standard Glass</u>	<u>\$4,833.40</u>
<u>Concordia R.1</u>	<u>\$1,654.00</u>
<u>Allied Fire Protection</u>	<u>\$2,952.00</u>
<u>Rivers Plumbing R.1</u>	<u>\$4,587.00</u>
<u>TA Woods Electrical R.1</u>	<u>\$3,723.00</u>
<u>TA Woods Mechanical</u>	<u>\$6,491.62</u>
<u>MCC</u>	<u>\$1,735.88</u>
<u>N/A</u>	<u>\$0.00</u>
<u>N/A</u>	<u>\$0.00</u>
TOTAL SUBCONTRACTS	<u>\$42,218.90</u>
5% GC FEE	<u>\$2,110.95</u>
TOTAL CHANGE AMOUNT	<u>\$44,329.85</u>

Allowance Reduction Proposal

Sincerely,

Matt Brittan

Matt Brittan

Monteith Acceptance

Owner Acceptance

MONTEITH
CONSTRUCTION CORP.
RALEIGH | WILMINGTON



Brunswick County Courthouse – Bolivia, NC

Change Order in Regards to RFP 32 (Breakroom Tall Cabinets only)

RFP 32 shows (3) 36" wide Tall cabinets and (1) 18" wide Tall Cabinet. Unless there is a reason for this design, Arrowood Suggest making all 4 cabinets equal width's which would be around 32" each, with equally spaced fillers on both ends.

Finished Materials

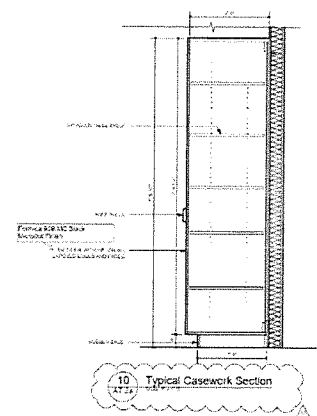
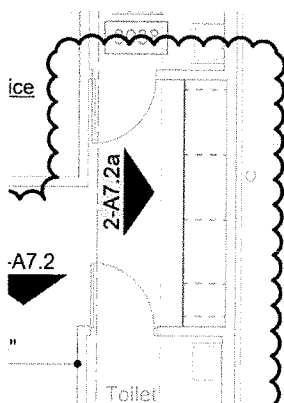
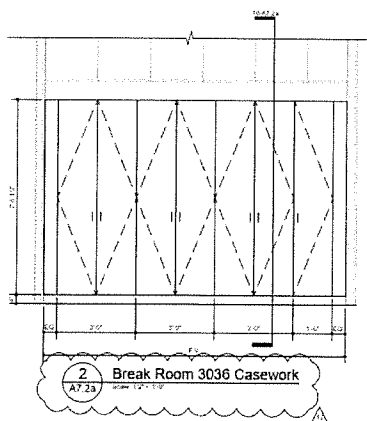
- 4 Tall Cabinets Total
- \$1,340 Each
- \$5,360.00 Total Cost (of Finished Product)

Installation

- ½ Day - \$500.00

As long as we can deliver these with other parts of this project no additional compensation will be needed for delivery.

Subtotal: \$5,860.00



The mark of responsible forestry



GREY INTERIORS, LLC
261 N. Front Street
Wilmington, NC 28401
Office: (843) 839-2051
greyinteriors@greyintlnc.com

PROPOSAL:

Project: Brunswick County Courthouse
Location: Bolivia NC
Architect: Sawyer, Sherwood & Assoc.

Date: 6/23/21
Plans:
Dated:
RFC: 82

Description: Per Direction of MCC, Grey Interiors proposes to supply all material, labor and equipment necessary to complete work outlined in RFP 32. This includes; relocating framed walls and installed door frames, installing flat strapping behind new cabinetry, installing grab bars and blocking for hand rails in toilet 3097, patch work, installing new 3032 E door frame, door and hardware, and swapping out door hardware for 3097A. This excludes demo of existing walls, supply of any doors, hardware or grab bars and any door frames other than hollow metal.

Total Base Bid: \$ 5,037.82

Exclusions: After Hours, Nighttime, Overtime, Weekend Work, Dumpsters/Bins or Anything Not Specifically Mentioned in The Above Inclusions.

Respectfully Submitted,
Grey Interiors, LLC
Michael Shook
(910) 470-7020
mshook@greyintlnc.com

Project Name	Brunswick County Courthouse
Project Location	Bolivia NC
Company Making Request	MCC

Reason for Change RFP 32

Date	June 23, 2021	RFC Number	82
------	---------------	------------	----

1.		Increase in Labor Costs	\$2,534.00
2.	01040	Increase or Decrease in Labor Burden 40% Labor Burden	\$1,013.60
3.		Increase or Decrease in Material Quantities and Costs	\$568.26
4.	01234	Travel	\$0.00
	1250	Lodging	\$0.00
5.	11000	Equipment Rental	\$0.00
6.		Total Lines 1-5.	\$4,115.86
7		Subcontract Fee of 20%	\$823.17
8		Total Lines 6 & 7	\$4,939.04
9	01120	Insurance 2% Fee	\$98.78
TOTAL BASE BID			\$5,037.82

Owner


Architect

Contractor

Date

Date

Date

PROJECT NAME:		Brunswick County Courthouse		<div><div>Estimate Details</div></div>		06/23/21	
PROJECT NUMBER:		2010					
PROJECT LOCATION:		Bolivia, NC					
PHASE	ITEM DESCRIPTION	UNITS	QUANTITY	MATERIALS		SALES TAX	MATERIALS TOTAL
09250	5/8" Type X	SF	80	0.43	\$ 34.40	\$ 2.41	\$ 36.81
09250	5/8" XP	SF		0.55	\$ -	\$ -	\$ -
09250	5/8" EXP Sheathing	SF		0.82	\$ -	\$ -	\$ -
09250	1" Shaftliner	SF		0.93	\$ -	\$ -	\$ -
07200	R-11 Batt Insulation	SF		0.34	\$ -	\$ -	\$ -
07200	R-19 Batt Insulation	SF		0.47	\$ -	\$ -	\$ -
05501	4" Stud, 20ga	LF		1.69	\$ -	\$ -	\$ -
05501	4" Trac, 20ga	LF	30	0.96	\$ 28.80	\$ 2.02	\$ 30.82
05501	4" Slotted Slip Trac, 20ga	LF	30	2.47	\$ 74.10	\$ 5.19	\$ 79.29
05501	6" Stud, 20ga	LF		1.63	\$ -	\$ -	\$ -
05501	6" Trac, 20ga	LF		1.62	\$ -	\$ -	\$ -
05501	6" Slotted Slip Trac, 20ga	LF		2.16	\$ -	\$ -	\$ -
05501	7/8" DWC, 20ga	LF		0.5	\$ -	\$ -	\$ -
05501	1.5" DWC, 20ga	LF		0.65	\$ -	\$ -	\$ -
05501	2.5" C-H Studs, 20ga	LF		1.05	\$ -	\$ -	\$ -
05501	2.5" J Trac, 20ga	LF		0.56	\$ -	\$ -	\$ -
05503	1 1/4" Sharps/SDs	BOX	0.18	68.4	\$ 12.31	\$ 0.86	\$ 13.17
05503	10 x3/4" Pan Heads	BOX	0.6	112.8	\$ 67.68	\$ 4.74	\$ 72.42
05503	C5 Trak Fast Pins	BOX	1	88.8	\$ 88.80	\$ 6.22	\$ 95.02
09252	Joint Compound All Purpose	PAIL	1	17.94	\$ 17.94	\$ 1.26	\$ 19.20
09252	Durabond	BAG		14.4	\$ -	\$ -	\$ -
09252	Paper Tape	ROLL	1.75	3.3	\$ 5.78	\$ 0.40	\$ 6.18
09252	Paper Faced Corner Bead	PC	4	3.96	\$ 15.84	\$ 1.11	\$ 16.95
09252	Equalizer Plus (Lev 5)	PAIL		50.4	\$ -	\$ -	\$ -
01600	Small Tools/Drill Bits	Each	1.2	65	\$ 78.00	\$ 5.46	\$ 83.46
06030	Blocking	Each	1	107.44	\$ 107.44	\$ 7.52	\$ 114.96
07203	Fireproofing				\$ -	\$ -	\$ -
					MATERIALS TOTAL	SALES TAX TOTAL	TOTAL JOB
TOTALS					\$ 531.09	\$ 37.18	\$ 568.26

PROJECT NAME:		Brunswick County Courthouse		<div><div><div>G</div><div>GREY</div><div>INTERIORS</div></div><div>Estimate Details</div></div>			06/23/21	
PROJECT NUMBER:		2010						
PROJECT LOCATION:		Bolivia, NC						
Labor	ITEM DESCRIPTION	UNITS	QUANTITY	Labor		LABOR TOTAL		
				UNIT PRICE	TOTAL			
01040	Foreman	Hours	12	32	\$ 384.00	\$ 384.00		
01101	Exterior Labor	Hours		25	\$ -	\$ -		
01102	Interior Labor	Hours	64	25	\$ 1,600.00	\$ 1,600.00		
01102	Interior Labor	Hours	-2	25	\$ (50.00)	\$ (50.00)		
06020	Blocking Labor	Hours		25	\$ -	\$ -		
06161	Sheathing Labor	Hours		25	\$ -	\$ -		
06604	FRP Cornince Labor	Hours		25	\$ -	\$ -		
07202	Fire Proofing Labor	Hours		25	\$ -	\$ -		
07923	Air Barrier Labor	Hours		25	\$ -	\$ -		
08014	Door/Accessories Install Labor	Hours	24	25	\$ 600.00	\$ 600.00		
09257	Shaftwall Labor	Hours		25	\$ -	\$ -		
09259	Patchwork Labor	Hours		25	\$ -	\$ -		
09260	Point Up Labor	Hours		25	\$ -	\$ -		
10010	Specialties Labor	Hours		25	\$ -	\$ -		
10011	Accessories Labor	Hours		25	\$ -	\$ -		
					\$ -	\$ -		
					\$ -	\$ -		
					\$ -	\$ -		
					LABOR TOTAL		TOTAL JOB	
TOTALS					\$ 2,534.00	\$ 2,534.00		



CHANGE ORDER PROPOSAL

June 24, 2021

Monteith Construction

Attn: Matt Brittan

Project: Brunswick County Courthouse

Proposal #: J1330 – RFP 32

Proposal:

Door 3046D

RFP 32

- Door 3032E – Providing new pair of wood doors (flush) and hollow metal frame. (Confirm standard three sided frame and jamb depth required). Providing new hinges, passage lock, and silencers.
- Door 3032D Providing new wood door (flush). A new hollow metal frame and hardware set 38 were provided in original scope.
- Door 3097A – Providing new privacy lock.
- Toilet Accessories at Restroom 3097 (Catalog cuts attached)
 - Grab bar set 18", 36", and 42"
 - Shower rod, curtain, and hooks (Confirm length is acceptable 42" rod with 48" x 72", and 10 hooks)
 - Robe hook
 - Jumbo roll toilet paper dispenser
 - Semi-recessed paper towel dispenser
 - Chain link mirror 24" x 36"
 - Surface Mounted waste receptacle
 - Soap Dispenser

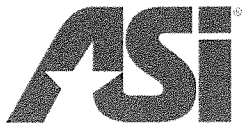
Please note that due to the current lead-time of wood doors (17-18 weeks) we have quoted all wood doors as unfinished to be stained in the field. This will allow us to purchase from a quick ship manufacturer. The lead time will be 3-4 weeks.

**Total add of \$4,210.00 PLUS TAX
(Grand Total: \$4,494.18 including 6.75% Sales Tax)**

Prepared by:
April Little

****If accepted, please sign below and return immediately. A formal change order should be provided within 15 days. Failure to provide formal change order may delay shipment of materials. ****

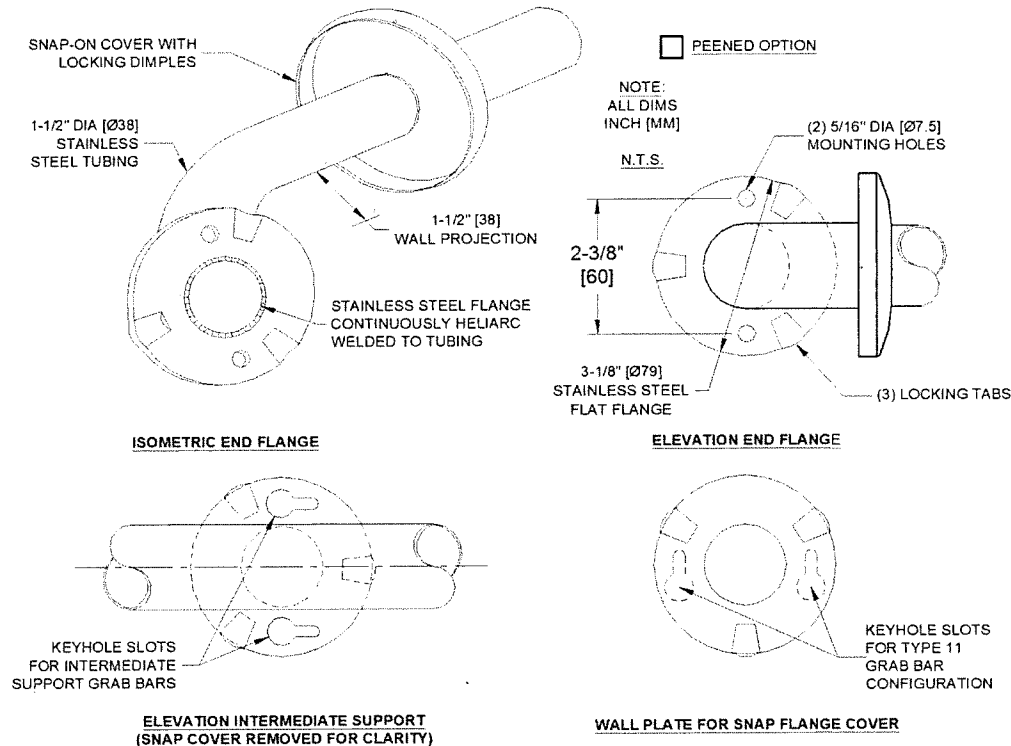
Approved by: _____ Date: _____



AMERICAN SPECIALTIES, INC.
441 Saw Mill River Road, Yonkers, NY 10701
(914) 476.9000 • (914) 476.0688
www.americanspecialties.com

MODEL №:	3800
ISSUED:	01/87
REVISED:	7 MAR 2017

1-1/2" DIAMETER [Ø38] GRAB BAR SERIES WITH SNAP-ON FLANGE COVERS



SPECIFICATION

1-1/2" Diameter [Ø38] Grab Bar with Snap-On Flange Covers for concealed mounting shall be type 304 stainless steel alloy 18-8. Tubing shall be 1-1/2" diameter [Ø38] x 18 gauge (0.048") [1.2]. Snap-on cover shall be 22 gauge (0.03") [0.8]. Flange shall be 1/8" [3] thick and shall be heliarc welded to tubing with a continuous concealed bead. End flanges shall have two (2) 5/16" diameter [Ø7.5] mounting holes. Center posts (if any) shall have (2) keyhole slots to ease installation access. All exposed surfaces shall have a satin finish and shall be protected during shipment with a plastic bag. For optional non-slip surface add suffix -P (peened).

1-1/2" Diameter [Ø38] Grab bar with Snap-On Flange Covers shall be Series № 3800 of American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701- 4913

STRENGTH

ASI Grab Bars are designed to meet and exceed ADA requirements as published in CABO/ANSI A117.1 and 2010 ADA Accessibility Standards. Mounting to the wall is a critical part of the system to meet this requirement. To withstand the shear, tension or pullout, and torsion loads generated by the maximum loading, the fastener system must be adequately sized.

INSTALLATION

Use grab bar as template to mark mounting holes locations and pre-drill holes. Install bar using two (2) № 10 self-tapping pan head screws and flat washers (by others) or other fastener system (by others) to suit conditions for each flange. Appropriate anchoring and backing must be provided in accordance with local building codes or as specified on Architects Plans prior to wall finishing. For compliance with 2010 ADA Accessibility Standards, install unit so that the top of the grab bar is 33" [840] minimum above finished floor (AFF) to 36" [915] maximum AFF. Anchors are available from ASI and must be specified separately for each grab bar style scheduled (see 3900 series).

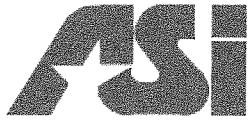
Accessory Specialties

AMERICAN DISPENSER

Desert Ray Products

WITROUS INC.

THIS MANUFACTURER RESERVES THE RIGHT TO MAKE CHANGES IN DESIGN OR DIMENSIONS WITHOUT FORMAL NOTICE



AMERICAN SPECIALTIES, INC.
 441 Saw Mill River Road, NY 10701
 (914) 476.9000 • (914) 476.0688
 www.americanspecialties.com

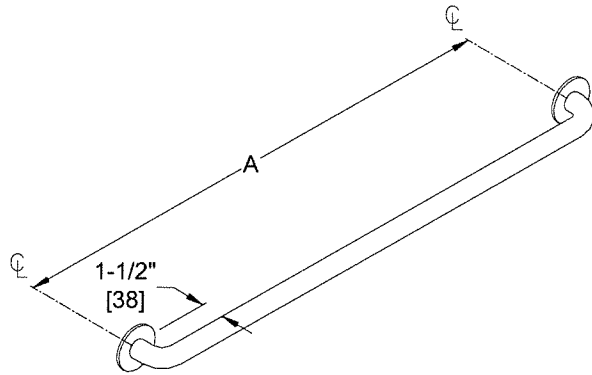
MODEL №: GRABBAR CONFIG

ISSUED: 09/96

REVISED: 23 FEB 2015

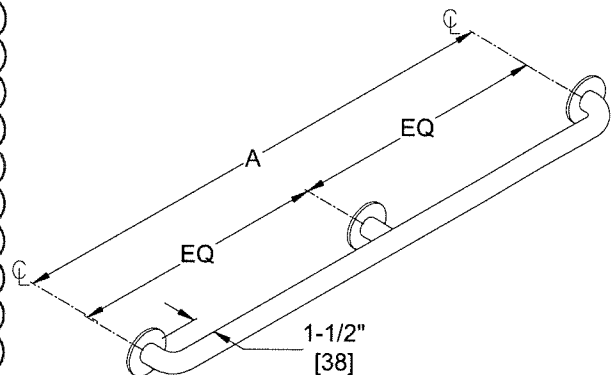
GRAB BAR CONFIGURATIONS (PG 1 OF 3)

TYPE -01



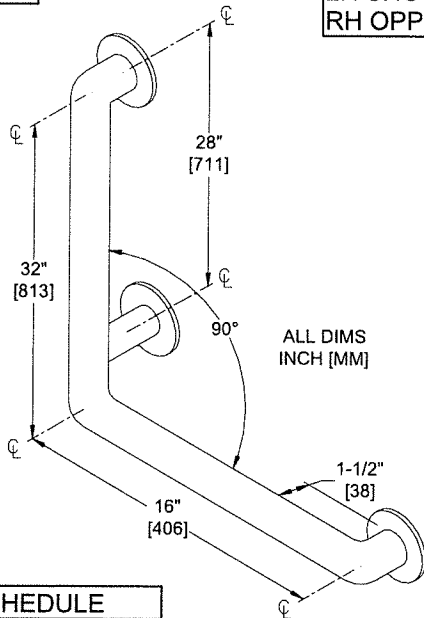
SCHEDULE			
QTY.	DIM. A	QTY.	DIM. A
	12" [305]		36" [914]
	18" [457]		42" [1067]
	24" [610]		48" [1219]
	30" [762]		

TYPE -02



SCHEDULE	
QTY.	DIM. A
	52" [1321]
	54" [1372]
	60" [1524]
	72" [1829]

TYPE -04

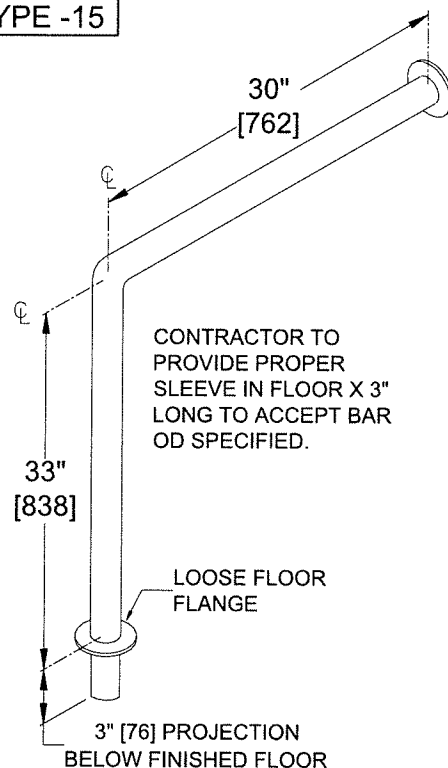


**LH SHOWN
RH OPPOSITE**

SCHEDULE	
QTY.	HAND
	LH
	RH

**MODEL № MUST SPECIFY
-LH OR -RH**

TYPE -15



Accessory Specialties

AMERICAN DISPENSER

Desert Ray Products

MITROUS, INC.

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AMERICAN SPECIALTIES, INC.

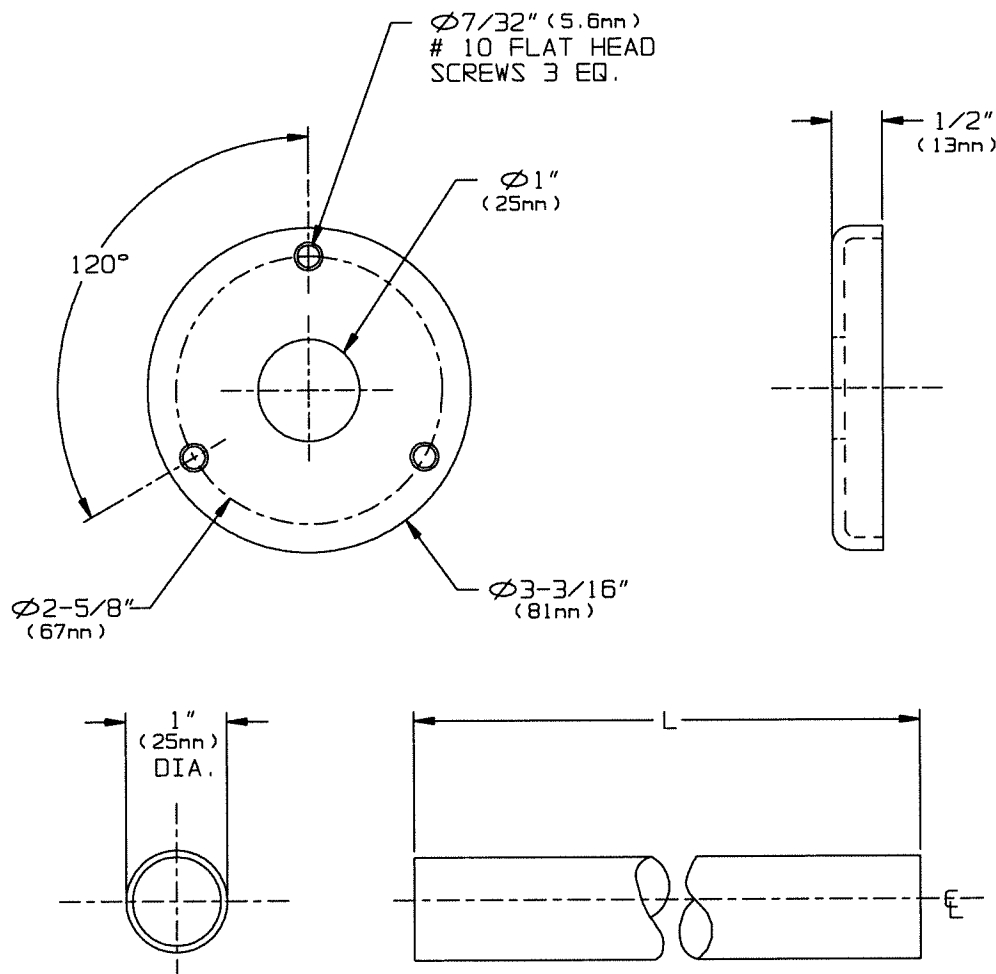
441 Saw Mill River Road, Yonkers, NY 10701 (914) 476-9000

MODEL No: 1214

ISSUED: 1-87

REVISED: 9-04

HEAVY-DUTY SHOWER CURTAIN ROD



SPECIFICATION

Heavy-Duty Shower Curtain Rod with flanges shall be fabricated of alloy 18-8 stainless steel, type 304. Tubing shall be 20 gauge, 1" dia. with a satin finish and shall be protected during shipment with a plastic bag. Length shall be as specified. Flanges shall be provided with (3) dimpled 13/64" (5.2mm) dia. holes to accept N° 10 oval head screws (furnished by others).

Heavy-Duty Shower Curtain Rod with Exposed Mounting Flanges shall be Model N° 1214-XXX as manufactured by American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913

ORDERING NOTE

Select length in inches (i.e. 048, 060, 120) to create Part Spec Order Number (i.e. 1214- 060).

INSTALLATION

Rod is installed in straight section between two (2) mounting flanges. Rods longer than 72" (1829mm) require ceiling hanger Model N° 1224-C18. For use with standard shower curtain model N°s 1200 or 1200-V having 72" (1829mm) length and standard hooks (Model N° 1200-SHU) unit should be installed with rod centerline 74-1/2" (1892mm) AFF or 67" (1702mm) above tub rim to obtain 6" (152mm) bottom overlap.

Accessory Specialties

AMERICAN DISPENSER

Desert Ray Products

WATROUS, INC.

THIS MANUFACTURER RESERVES THE RIGHT TO MAKE CHANGES IN DESIGN OR DIMENSIONS WITHOUT FORMAL NOTICE



REVISÉD:

THIS MANUFACTURER RESERVES THE RIGHT TO MAKE CHANGES IN DESIGN OR DIMENSIONS WITHOUT FORMAL NOTICE



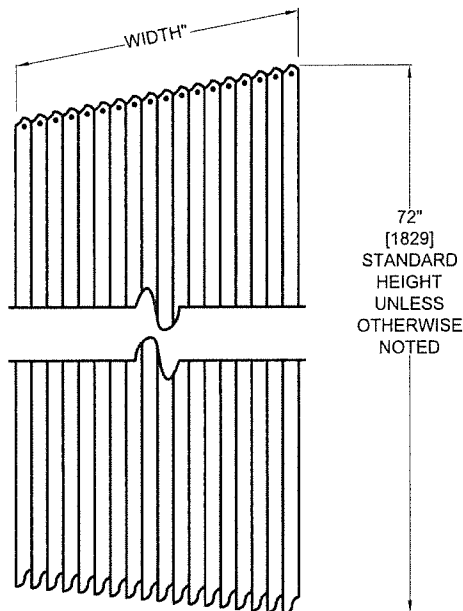
AMERICAN SPECIALTIES, INC.
441 Saw Mill River Road, Yonkers, NY 10701
(914) 476.9000 • (914) 476.0688
www.americanspecialties.com

MODEL №: 1200-V

ISSUED: 01-87

REVISED: 03 JUN 2019

VINYL SHOWER CURTAIN



NOTE:
ALL DIM'S INCH [MM]
ILLUSTRATION FOR REF ONLY AND NTS

SPECIFICATION

Shower Curtain shall be fabricated of .00825" [0,21] thick PVC sheet treated with a broad spectrum antimicrobial agent to inhibit the growth of fungal, bacterial and algal organisms. Protection agents shall remain in effect after repeated low-temperature mild soap washing and air-drying cycles. Top hem shall be 1-1/2" [38] wide, backing reinforced and heat-sealed above and below grommet row. Bottom hem and vertical edges shall be plain edge. Clear anodized aluminum grommets with 3/8" inside diameter [Ø9,5] shall be machined into top hem at 6-1/2" \pm 1/2" [165 \pm 13] intervals on centers starting at 1-1/4" \pm 1/4" [32 \pm 6] from edges. Color shall be white. Pattern is San Suede Pebble Emboss № SS9700. Effective inhibition has been demonstrated via testing in accordance with ASTM G2190, ASTM E1428 and AATCC Test Method 147-1998.

Vinyl Shower Curtain shall be Model № 1200-Vxx (specify size per chart) of American Specialties, Inc., Yonkers, NY 10701-4913

INSTALLATION

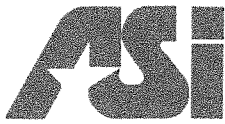
For openings up to 42" [1067] wide curtains should be specified an additional 6" [152] wider than opening and 12" [305] wider for openings exceeding 42" [1067]. Shower curtain should be attached with hooks (not provided, order separately) to rod (not provided, order separately). Curtain hooks Model № 1200-SHU are recommended.

SIZE SPECIFICATION

OPENING	XX	OPENING	XX	OPENING	XX
30" [762]	36" [914]	42" [1067]	48" [1219]	60" [1524]	72" [1829]
36" [914]	42" [1067]	48" [1219]	60" [1524]	72" [1829]	84" [2134]

HOOKS COUNT (1200-SHU SUGGESTED) REQUIRED

CURTAIN WIDTH	HOOK COUNT	CURTAIN WIDTH	HOOK COUNT	CURTAIN WIDTH	HOOK COUNT
36" [914]	6	48" [1219]	8	72" [1829]	12
42" [1067]	7	60" [1524]	10	84" [2134]	14



AMERICAN SPECIALTIES, INC.

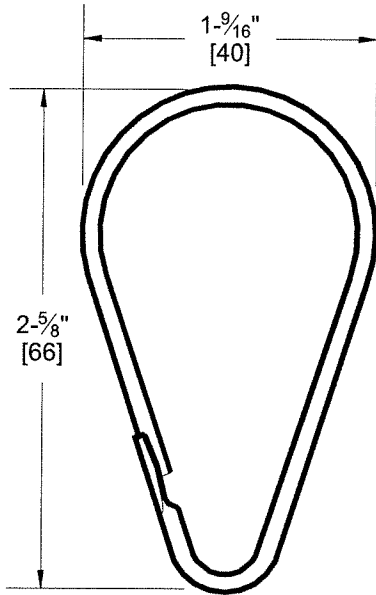
441 Saw Mill River Road, Yonkers, NY 10701 (914) 476-9000
www.americanspecialties.com

MODEL No: 1200-SHU

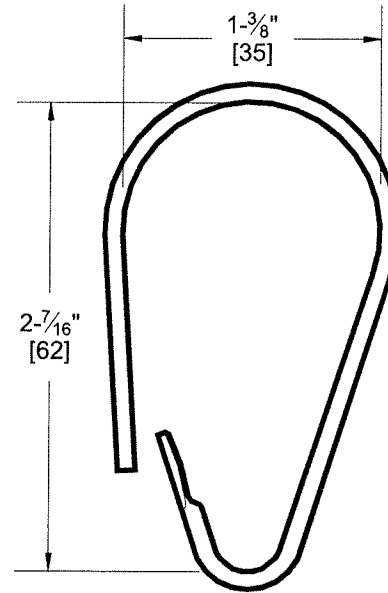
ISSUED: 01-87

REVISED: 01-08

STAINLESS STEEL SHOWER CURTAIN HOOK



HOOK IN CLOSED POSITION



HOOK IN OPEN POSITION

NOTE: ALL DIM'S
ARE INCH [MM]

SPECIFICATION

Shower Curtain Hook shall be fabricated of type 304 stainless steel alloy 18-8. Solid formed wire shall be .098" diameter ($\varnothing 2.5$) with a bright finish. Hook shall have a formed retainer to hold free end closed and shall accommodate 1" to 1-1/4" diameter ($\varnothing 25$ to $\varnothing 32$) curtain rods.

Stainless Steel Shower Curtain Hook shall be Model № 1200-SHU of American Specialties, Inc., Yonkers, NY 10701-4913

INSTALLATION

Open hook and slip over shower curtain rod (specified separately). Hang shower curtain (specified separately) on small hook. Close hook free end into retainer on hook end.

OPERATION

Grasping hook in both hands, use the thumb of one hand to push the hanger hook in and to one side. Release thumb pressure allowing top hook to bypass and extend over the bottom hook. Slip the hook over the shower curtain rod (specified separately). After hanging shower curtain (specified separately) use thumb pressure to replace the free leg of the hook onto the bottom hook leg-retainer.

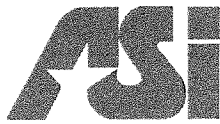
Accessory Specialties

AMERICAN DISPENSER

Desert Ray Products

WATROUS, INC.

THIS MANUFACTURER RESERVES THE RIGHT TO MAKE CHANGES IN DESIGN OR DIMENSIONS WITHOUT FORMAL NOTICE



AMERICAN SPECIALTIES, INC.

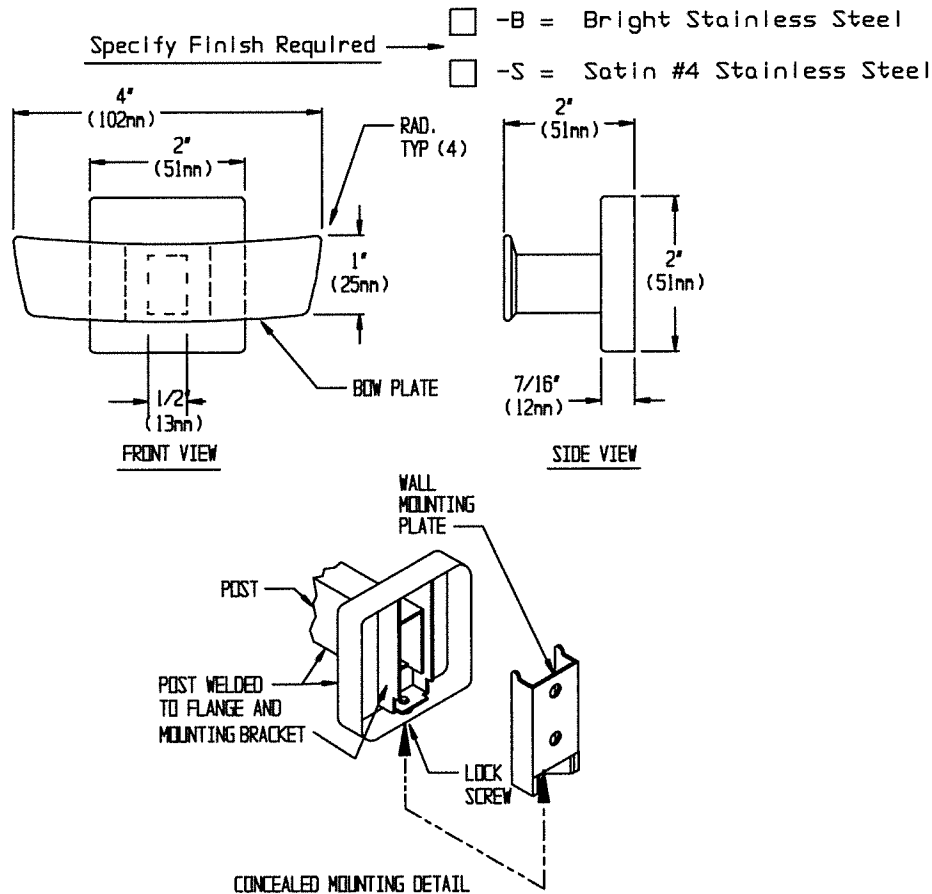
441 Saw Mill River Road, Yonkers, NY 10701 (914) 476-9000
www.americanspecialties.com

MODEL No: 7345

ISSUED: 1-87

REVISED: 1-06

DOUBLE ROBE HOOK



SPECIFICATION

Double Robe Hook shall be fabricated of stainless steel alloy 18-8, type 304. Post shall be 1/2" x 1" (13mm x 25mm) rectangular tubing with formed mounting flange and bracket welded on end. Bow plate shall be 14 gauge, 4" x 1" (102mm x 25mm) with radiused corners and internally welded to outer end. Mounting plate shall be included and shall be 18 gauge. A stainless steel setscrew shall be provided on bottom perimeter of flange to lock unit to mounting plate. Surface finish shall be bright or satin as chosen by option and indicated by code suffix.

Double Robe Hook shall be Model N° 7345-B or N° 7345-S of American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913

INSTALLATION

Surface mount unit on door back or wall using N° 10 self tapping screws (by others) through holes provided in mounting plate into suitable prepared mountings (by others) or other suitable mounting hardware (by others) to suit door or wall conditions. Hang post and flange assembly on mounting plate and tighten setscrew to lock unit to plate. For compliance with ICC/ANSI A-117.1-2003 and ADA Accessibility Guidelines install unit with top of hook 48" (1219mm) maximum above finished floor (MAX AFF) if clear floor forward reach or if clear floor side reach access only is provided or 46" (1168mm) MAX AFF if side reach access over an obstruction (e.g. vanity) with reach depth greater than 10" (254mm) and less than 25" (635mm) is only provided or 44" (1118mm) MAX AFF if forward reach over an obstruction with reach depth greater than 20" (508mm) and less than 25" (635mm) is only provided. For general utility install hook with centerline of mounting plate 68" (1727mm) AFF.

OPERATION

Hook is suitable for robes or clothing and small carry bags.

Accessory Specialties

AMERICAN DISPENSER

Desert Ray Products

WATROUS, INC.



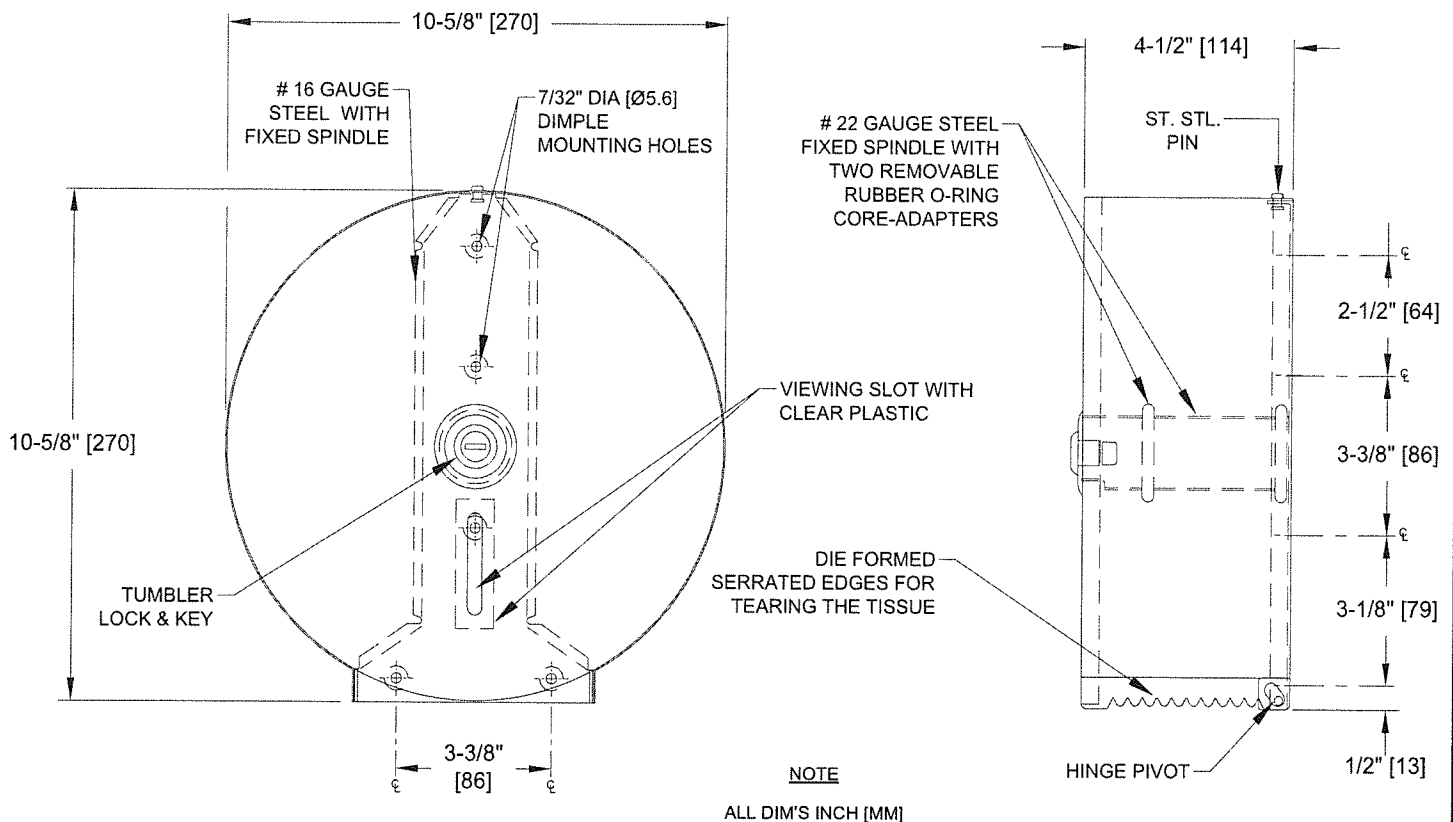
AMERICAN SPECIALTIES, INC.
441 Saw Mill River Road, Yonkers, NY 10701
(914) 476.9000 • (914) 476.0688
www.americanspecialties.com

MODEL №: 0042

ISSUED: 01-87

REVISED: 18 JUL 2019

SURFACE MOUNTED JUMBO-ROLL TOILET PAPER DISPENSER



NOTE

ALL DIM'S INCH [MM]

ILLUSTRATION FOR REF ONLY AND NTS

FOR CLEANING INSTRUCTIONS SEE APPROPRIATE SECTIONS
IN PRODUCT CARE & MAINTENANCE BULLETIN (PCM) ON ASI WEBSITE

SPECIFICATION

Surface Mounted Jumbo-Roll Toilet Paper Dispenser shall hold one (1) roll up to 10" Dia [Ø254] with 1-5/8" Dia [Ø41.3] core or 2-1/4" Dia [Ø57] core. Cover shall be 22 gage type 304 Stainless Steel alloy 18-8 with a satin finish. Rear of cabinet shall have five (5) mounting holes to suit № 8 or № 10 flat head screws. Cover shall be of one piece construction hung on stainless steel pin hinges and shall be held closed by a tumbler lock keyed to other ASI washroom equipment with key provided. A viewing slot with clear plastic window shall be provided. Unit shall accommodate smaller core size roll by removing the rubber core adapter O-rings. Opening on bottom of cabinet shall have stainless steel teeth for toilet tissue tearing on both sides. Cover at top shall have shoulder pin to interlock back plate when closed.

Surface Mounted Jumbo-Roll Toilet Paper Dispenser shall be Model № 0042 of American Specialties, Inc., 441 Saw Mill River Road, Yonkers, NY 10701-4913

INSTALLATION

For general utility surface mount unit within 12" [305] of front of toilet from center line and 31" [787] above finished floor (AFF) from bottom of unit with five (5) screws (by others) through mounting holes provided. For compliance with 2010 ADA Accessibility Standards and ABA Standards 2015, install unit so that center line of dispenser is 7" [178] min to 9" [229] max in front of toilet and dispenser outlet is 15" [381] min AFF to 48" [1219] max AFF.

OPERATION

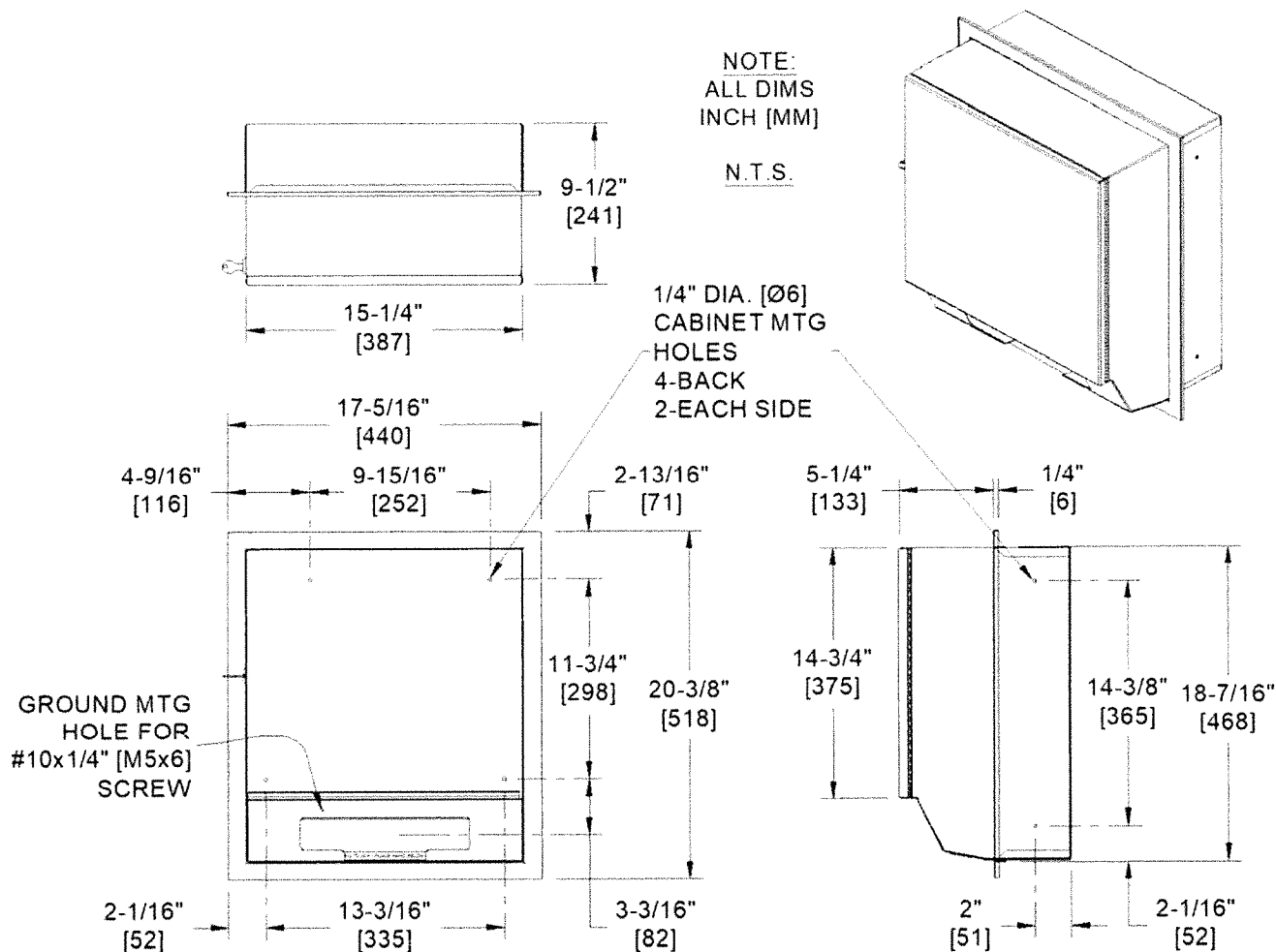
One (1) 10" [Ø254] OD jumbo roll of toilet paper is mounted over 2-1/4" [Ø57] ID core adapter. One roll with (1) 1-5/8" [Ø41.3] ID core may be used by removing the rubber core adapter rings. Viewing slot continuously reveals tissue level. Key locked cover prevents unauthorized access or removal. Roll is replaced on a cycle determined by maintenance needs.



AMERICAN SPECIALTIES, INC.
441 Saw Mill River Road, Yonkers, NY 10701
(914) 476.9000 • (914) 476.0688
www.americanspecialties.com

MODEL №:	68523A-4
ISSUED:	2/2017
REVISED:	13 FEB 2018

SEMI-RECESSED AUTOMATIC ROLL PAPER TOWEL DISPENSER (PAGE 1 OF 2)



SPECIFICATION

Semi-Recessed Automatic Roll Paper Towel Dispenser shall hold and dispense one 8" wide x 8" diameter [203 x Ø203] standard towel roll up to 800 ft. [244m] long and one 8" wide [203] stub roll up to 3-1/2" diameter [Ø89]. Automatic Touchless Roll Towel Dispenser shall be powered by four (4) D-size batteries (not supplied) and shall operate automatically to activate towel dispensing when hands are placed in sensor zone. At each activation, unit shall feed out a length of towel selected by owner by setting length, delay and paper saver switches. Unit shall have an internal towel cut-off bar. Cabinet sides and frame shall be 22 gauge type 304 stainless steel alloy 18-8. Cabinet back and towel apron shall be 18 gauge same grade. Towel dispenser door shall be 18 gauge same grade and shall have a full return and formed sill at bottom edge for user safety. All exposed surfaces shall have satin finish protected by PVC film easily removed after installation. Door shall be attached to cabinet at side with a full-length 3/16" diameter [Ø4.8] stainless steel multi-staked piano hinge and shall be held closed with a tumbler lock keyed alike to other ASI washroom equipment. Structural assembly of all components shall be of welded construction. Cabinet shall have no exposed fastening devices or spot-welded seams. Clear hole is provided for #10 (M5) self-threading screw (by others) for mechanism ground wire connection by ring terminal provided on wire.

Semi-Recessed Automatic Roll Paper Towel Dispenser shall be Model № 68523A-4 as manufactured by American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913



AMERICAN SPECIALTIES, INC.
441 Saw Mill River Road, Yonkers, NY 10701
(914) 476.9000 • (914) 476.0688
www.americanspecialties.com

MODEL №: 68523A-4

ISSUED: 2/2017

REVISED:

SEMI-RECESSED AUTOMATIC ROLL PAPER TOWEL DISPENSER (PAGE 2 OF 2)

INSTALLATION

Provide adequate in-wall reinforcement (by others) in drywall construction to hold mounted unit in rough wall opening (RWO) after wall is finished. Provide appropriate anchors (by others) to suit wall and field conditions for installation into walls other than new drywall. Mount unit in wall using № 10 or 1/4" (M5 or M6) x 1-1/2" [38] self-tapping pan head screws (by others) or other suitable fasteners (by others) through concealed mounting holes provided in rear wall of cabinet. Alternatively, installer may use concealed mounting holes in side walls of cabinet behind frame. Towel mechanism 8374 is supplied installed. Connect ground wire ring terminal (provided) to housing back hole (provided) with self-threading screw (by others) sized #10x1/4" [M5x6] Philips Pan Head with internal tooth lock washer (by others). For compliance with ICC/ANSI A-117.1-2003 and 2010 ADA Accessibility Standards, install unit so that top edge of towel dispenser opening is 48" [1219] maximum above finished floor (MAX AFF) only if clear floor reach access is provided. Be advised that local codes may require mounting so that top of towel dispenser opening is 40" [1016] MAX AFF (e.g. California UBC/Title 24). For general utility, install unit with top of towel dispenser opening between 49" and 56" [1245 to 1422] AFF.

RWO required is 15-3/8" W x 19" H x 4" D minimum [391 x 483 x 102 minimum]

OPERATION

Towels are dispensed one length at a time automatically when hands are placed in sensor zone until supply is depleted. Owner predetermines length of towel dispensed by making selections on three (3) three-position switches for length, delay, and economy. Unit may be reloaded with a full roll to automatically start when finished with an existing partial roll and will continue to feed properly when reloaded with a full roll and partial roll is transferred to stub roll position. Refill dispenser by unlocking door and replacing towel roll for an empty or partially empty unit. Dispenser supply is replenished and batteries are replaced manually on cycles determined by maintenance needs. LED indicates sensing and battery condition. Locking door prevents unauthorized access and roll removal.



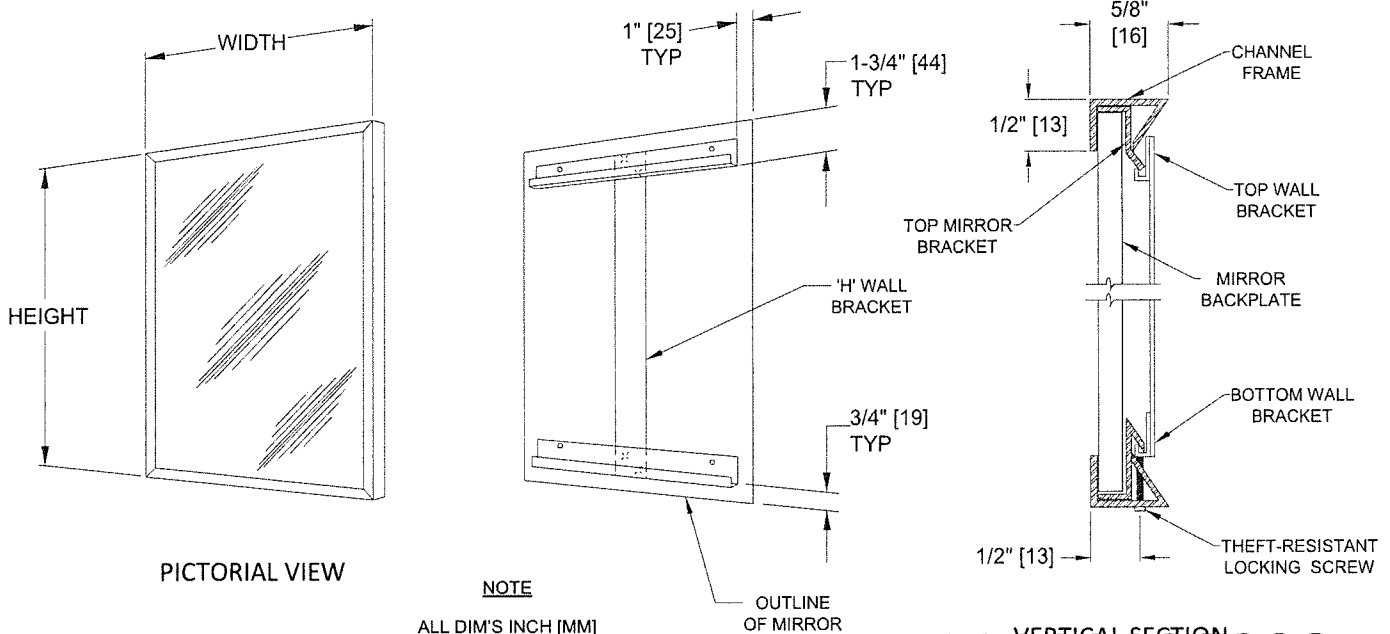
AMERICAN SPECIALTIES, INC.
441 Saw Mill River Road, Yonkers, NY 10701
(914) 476.9000 • (914) 476.0688
www.americanspecialties.com

MODEL №: 0620

ISSUED: 01-87

REVISED: 18 JUL 2019

CHANNEL FRAME MIRROR



PICTORIAL VIEW

NOTE

ALL DIM'S INCH [MM]

ILLUSTRATION FOR REF ONLY AND NTS

FOR CLEANING INSTRUCTIONS SEE APPROPRIATE SECTIONS
IN PRODUCT CARE & MAINTENANCE BULLETIN (PCM) ON ASI WEBSITE

VERTICAL SECTION

MIRROR SIZE 24 X 36

SPECIFICATION

Channel Frame Mirror shall have frame of 20 gauge type 304 stainless steel alloy 18-8, with mitered corners. Mirror glazing shall be _____ (insert glazing option) and shall be warranted for 15 years against silver spoilage. All edges of mirror shall be protected by friction and chafe absorbing fillers. Back of mirror shall be protected by full size shock-absorbing water-resistant filler and full size one piece 20 gauge corrosion protected steel. Top and bottom wall mounting brackets shall be 20 gauge corrosion protected steel and shall be spot welded into "H" hanger. Mirror shall be secured to lower bracket with a Phillips Pan Head locking screw.

Channel Frame Mirror shall be Model № 0620-_____ (insert glazing option) _____ (note size, W x H) as manufactured by American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913

MATERIALS

- Frame:** 20 gauge type 304, 18-8, stainless steel. Roll-formed one piece construction. Exposed surfaces shall be satin finish. Edges and corners are burr free.
- Glass:** Standard glazing is № 1 quality, 1/4" [6,4] thick plate/float, silver coated and hermetically sealed with a uniform copper plating, and warranted against silver spoilage for 15 years. Mirrors meet Federal Spec DD-M-411C, ASTM C-1503, and ASTM C-1036-91.
- Filler:** Expanded polyethylene microcell foam sheet material, abrasion resistant and shock absorbing, water resistant, 1/8" [3,2] total layer thickness.

FABRICATION NOTE FOR SPECIFICATION

Mirrors larger than 32sq. Ft. [2.97m²] are fabricated in two (2) or more sections to provide installation and handling ease.

INSTALLATION

Install "H" wall brackets level and plumb per diagram location using **ONLY** № 8 or № 10 Pan Head screws (by others). Hang mirror on brackets and tighten locking screw (№ 6-32F x 3/4" Philips Pan Head, supplied separately taped to mirror back) at bottom (note: this screw should be started prior to hanging mirror on wall bracket). For compliance with 2010 ADA Accessibility Standards and ABA Standards 2015, bottom edge of reflecting surface should be no higher than 40" [1016] AFF (Above Finished Floor).

GLAZING OPTIONS

Units are supplied with 1/4" [6] thick plate glass. Other glazing options are available. For a complete description of any other available glazing, see the **MIRROR GLAZING OPTIONS** chart.



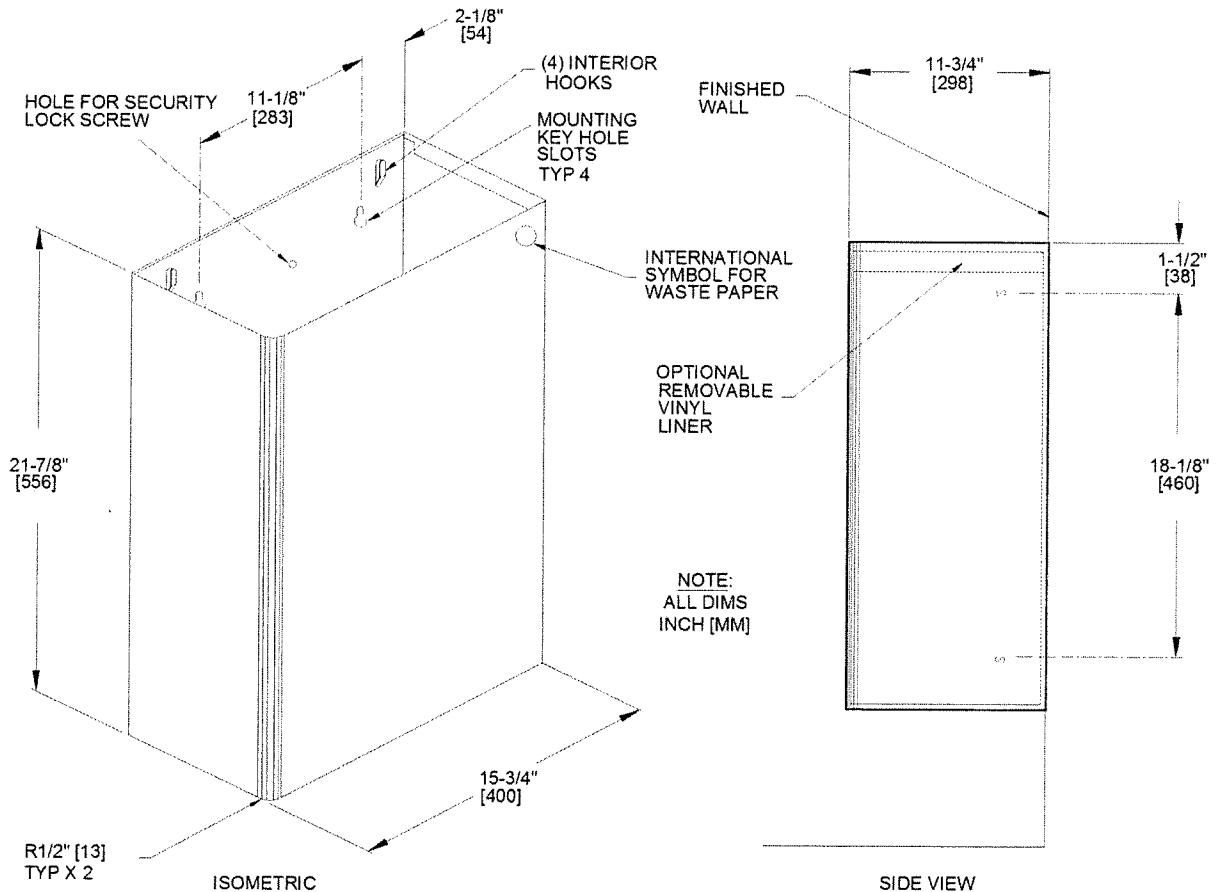
AMERICAN SPECIALTIES, INC.
441 Saw Mill River Road, Yonkers, NY 10701
(914) 476.9000 • (914) 476.0688
www.americanspecialties.com

MODEL №: 0825

ISSUED: 1-87

REVISED: 1 JUN 2015

SURFACE MOUNTED LARGE CAPACITY WASTE RECEPTACLE



SPECIFICATION

Surface Mounted Large Capacity Waste Receptacle shall hold 17 gallons [64 liters]. Unit shall be 22 gauge type 304 stainless steel alloy 18-8 with satin finish and be protected during shipment with a PVC film easily removable after installation. Receptacle shall have no exposed fastening devices or spot welded seams and have front vertical edges rounded to 1/2" [13] radius. Receptacle shall have four (4) interior hooks for hanging a reusable heavy gauge vinyl liner bag with grommets (to order replacements specify model 25-PY). Receptacle shall be screw mounted to wall through keyhole slots on back of unit and shall be theft resistant after installation of concealed locking screw.

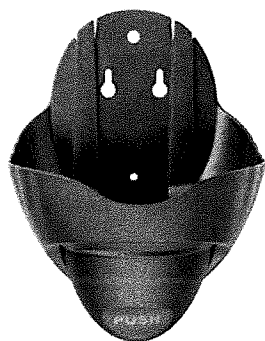
Surface Mounted Large Capacity Waste Receptacle shall be Model № 0825 as manufactured by American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913

INSTALLATION

For general utility, mount the receptacle 16" [406] above finished floor (AFF) from bottom of unit. Hang unit on pre-installed four (4) screws (by others) on wall through the mounting keyhole slots. Install and fasten theft-resistant screw (by others) to wall through top middle hole of receptacle.

OPERATION

User deposits waste material. Maintenance schedule determines trash removal cycle. Unit is emptied by removing either disposable bag (supplied by others) or reusable liner bag (available separately) to empty into appropriate bulk collection container. Liner bag is washable and reusable and replacements are available should they be required (specify model 25-PY).

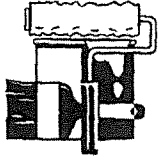


Dura View, Wall Mounted Manual Dispenser for Kutol Pro & Health Guard 2 Liter, 4 Liter and 4.5 Liter Cartridges, 9909ZPL

Brand: Kutol

- Compatible Refills: All Kutol Pro Heavy Duty and Health Guard 2000 mL, 4000 mL, and 4500 mL Hand Soap, Hand Sanitizer, Shampoo and Moisturizer refills
- Larger capacity means fewer change outs
- One dispenser works for 2 Liter, 4 Liter and 4.5 Liter Refills
- Loads easily, just replace entire cartridge
- ADA push compliant

Proposal



Duncan's Paint and Wallpaper, Inc.

5946 Red Hill Rd. • Whiteville North Carolina 28472

Phone: (910) 642-7442 • Cell: (910) 840-9936 • Fax: (910) 642-0117

PROPOSAL SUBMITTED TO MATT Brittan Montez Jr		PHONE	DATE 7/1/2021
STREET		JOB NAME BCC4	
CITY, STATE, AND ZIP CODE		JOB LOCATION RF P32	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for:

Paint new walls in those areas 1 coat
Extra (Raw sheetrock) other were Existing only needed
2 coats New sheetrock needs primer + 2 coats

Field stain 3032E Paint 2 HMF
3032D

All Labor + Materials — \$850

We Propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

Payment to be made as follows: _____ dollars (\$ 850).

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized
Signature _____

Note: This proposal may be
withdrawn by us if not accepted within _____ days.

Acceptance of Proposal — the above prices, specifications and condition are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Date of Acceptance: _____

Signature _____



801 South 16th Street
Wilmington, NC 28401
Office: (910) 762-3355
www.standardglass.com
(http://www.standardglass.com/)

Change Order Request

PROJECT — Brunswick County Courthouse

COR Subject: RFP 32

To Matt Brittan
Monteith Construction Corporation
208 Princess Street
Wilmington, NC 28401
(910) 791 8101

COR Number: 5
COR Revision Number: 0
COR Date: 7/12/2021
Work Type: Price / Do Not Proceed
Days Valid: 15

Return To Phillip Conradie
Standard Glass
801 S 16th Street
Wilmington, NC 28401
(910) 762-3355
(910) 616-7764
phillip@standardglass.com

Scope Of Work / Time Extension Request

Provide and Install new DW1800A Sliding Transaction window in room 3032B to match rest of installed Sliders.
Provide Qty. 2 Borrowed lites in wood doors (1/4" Clear Temp) - Dr. 3032B & Dr. 3046D

Details

Description	Type	Cost / Rate	Qty / Hrs	Workers	Ext
Labor Slider	Labor	\$44.94	5.00 Hrs	4.00	\$898.80
Labor Borrowed Door Lites	Labor	\$44.94	2.00 Hrs	2.00	\$179.76
3032B & 3046D					
DW1800A Slider	Material	\$2,996.00	1.00 EACH	-	\$2996.00
1/4" Clear Temp Borrowed Door Lites	Material	\$64.20	2.00 EACH	-	\$128.40

Breakout

Labor : \$1,078.56
Overhead Percent @ 15%: \$161.78
Material : \$3,124.40

Overhead Percent @ 15%: \$468.66

Total: \$4,833.40

Signed By:



Phillip Conradie
Manager

Dated: 7/12/2021



CONCORDIA
BUILDING COMPANY LLC

171 Tradition Trail, Suite 207
Holly Springs, NC 27540
P: (919) 762-7366 | F: (919) 762-7693
www.concordiabuilding.com

SUBCONTRACTOR | CHANGE ORDER PROPOSAL FORM

Project: Brunswick County Court House
General Contractor: Monteith Construction Corp.
Contract Package: Tile Work
Subcontractor: Concordia Building Company

Date: 7/16/2021
G.C. Project #:
Sub. Project #:

C.O. PROPOSAL #: RFP 32
revised
Extension Request:
Activity Affected:

DESCRIPTION OF CHANGE

RFP #32

including floor and base at the front of the shower

MATERIALS (Attach List Including: Quantity, Item, Unit \$, Unit MH, Total MH, OT MH, Total \$, Supplier Quote)

1	Direct Cost of Materials:	30	Qty UP	\$5.25	= Cost	\$520.00
2	Vendor Sales Tax 7.25%:					\$37.70
3	Freight Transportation:					\$150.00
4	Overhead & Profit Line Item 1 10%:					\$52.24
	TOTAL MATERIALS					\$759.94

LABOR (Overhead & Profit: 15% Maximum on Straight Labor Cost, Supervisor Man-Hours Included)

5 - A	Mechanic:	8	MH Rate	\$35.00	= Pay	\$280.00
5 - B	General Laborer:	8	MH Rate	\$20.00	= Pay	\$160.00
5 - C	Superintendent:	0	MH Rate	\$0.00	= Pay	\$0.00
6	Total Labor Cost:					\$440.00
7	Payroll Taxes Insurance 30%:					\$96.00
8	Overhead & Profit Line Item 5 - A, B, C 10%:					\$41.60
	TOTAL LABOR					\$577.60

PREPERATION (Overhead & Profit: 10% Maximum)

9	Floor Wall Preperation: mud bed					\$125.00
10	Waterproofing:					\$50.00
11	Moisture Testing:					\$0.00
12	Overhead & Profit 15%:					\$26.25
	TOTAL PREPERATION					\$201.25

OTHER (Attach List Including: Quantity, Item, Unit \$, Unit MH, Total MH, OT MH, Total \$, Supplier Quote)

13	hotel					\$100.00
14	Trip Charge:					\$0.00
15	Overhead & Profit Line Item 13 10%:					\$15.00
	TOTAL OTHER					\$115.00

SUBTOTAL OF PROPOSAL: \$1,653.79

16 Bond | % of Subtotal of Proposal | 1.5%:

\$0.00

TOTAL OF C.O. PROPOSAL | ROUNDED: \$1,654.00

The Sucontractor agrees to perform the work as outlined in this Change Order Proposal for the amount specified above, and in accordance with the Contract documents so long as the work is authorized by the Owner and | or General Contractor.

SUBMITTED BY:

Concordia Building Co: Enver Salihu VP

Signature: Enver Salihu

Date: 7/2/2021

APPROVED BY:

General Contractor:

Signature:

Date:

From: Marisa Fegley

Sent: Friday, July 16, 2021 8:33 AM

To: Bettina Acosta <bacosta@monteithco.com>; Enver Salihu <enver@concordiabuilding.com>

Cc: Matthew Brittan <mbrittan@monteithco.com>; Daniel Hart <dhart@monteithco.com>; Steve Beauchesne <steve@concordiabuilding.com>

Subject: RE: Brunswick County Courthouse: RFP 32 Pricing

Bettina,

We have revised the CO2 for RFP32 including a reduction. As for the hotel charge, we don't have any mechanics that live in the area so we will have to come from out of town to do the extra work.

Let me know.

Thank you,
Marisa

CHANGE PROPOSAL FORM

Project: Brunswick County Courthouse	AFP Proposal #: 015
Contract:	Date: 6/28/2021
Contractor: Allied Fire Protection, Inc.	AFP Job #: 240-C-20

Description of change: RFP 32 Changes

Scope: Add additoonal heads with mechanical tees to rooms: Corridor 3031, closet 3032, office 3032C, Toilet 3097 work room 3046D

Remove existing armover and drop and replace with new head and flex rooms: Judge Asst 3032A

Update CAD backgrounds, Current As-Built, Shop drawings and new permit drawings

EXCLUSIONS: Adjustments to existing lines or main piping.

No line or main alterations appear necessary unless current As-builts are not accurate

Materials	(Attach list with Qty, Item, Unit \$, Unit mh, Total mh, OT mh, Total \$)		SUBTOTALS
1. Total Direct Cost of Materials		\$391.63	
2. Overhead & Profit on Item 1.	10.000%	\$39.16	
	(15% maximum, includes small tools & consumables)		
3. Sales Tax	7.250%		
4. Shipping & Transportation			
5. Core Drill		\$0.00	\$430.79
Labor			
5a. Shop Hours	6 MH @ \$37.31 /hr.	\$223.86	
5b. Foreman Manhours:	10 MH @ \$44.00 /hr.	\$440.00	
5c. Designer Manhours:	6 MH @ \$57.30 /hr.	\$343.80	
5d. Filter Manhours:	10 MH @ \$38.19 /hr.	\$381.90	
5e. Helper Manhours:	10 MH @ \$31.21 /hr.	\$312.10	
6. Overhead & Profit on Item 5.	10.000%	\$147.78	
	(15% maximum on straight labor cost, not premium portion)		
	(O & P includes supervisor's time)		
7. Payroll Taxes & Insurance	39% (Max 39%)	\$576.34	
8. Gas (Foreman) Expense (\$80.00 per Day)		\$80.00	
9. Daily Expense \$15.00 Per Day per Man		\$15.00	\$2,520.78
Equipment Rental (Include quotes)			
8. Equipment Rental (1x 26' for Demc			
9. Overhead & Profit on Item 8.	6.000%	\$0.00	
	(6% maximum)		
Subcontractors (Include quotes with material & equipment backup)			
10. Subcontractors		\$0.00	
11. Overhead & Profit on Item 10.	6.000%	\$0.00	
	(6% maximum)		

Subtotal of Proposal \$2,951.57

12. Bonds (% of subtotal of proposal) 0.000% \$0.00

TOTAL OF CHANGE PROPOSAL \$2,952.00

Time Extension Request: 0 day(s). Schedule Activity # Affected: -

The Contractor agrees to perform the work outlined in this change proposal for the amount specified above and in accordance with the Contract documents if the work is authorized by the Owner.

Contractor's Signature: Michael Godsey Date: 6/28/2021

Approval Recommended by Design Consultant: _____ Date: _____

Owner's Representative Approval: _____ Date: _____

[illegible]

RP&E

147 Aberdeen Drive
Florence, SC 29501
O: (843) 413-9565
F: (843) 968-8206
Licenses NC #U33501
NC #34655 & SC #M2508



Mechanical
Electrical
Plumbing

7-7-2021

Attention: Matthew Britton
Subject: BCCH RFP 32

This letter is to provide a *Plumbing* for the above subject project. This pricing is in accordance with the documents, clarifications and/or exclusions below:

Quote based on Prints PD1.2, PD1.3, P1.2, P1.3, and P4.3
Dated 9-23-2019

The following items are *clarifications* to the above referenced review:

1. Sales tax is included
2. Demo Existing Water closet, Lavatory, and Vent piping as indicated on print on PD1.2
3. Demo mop sink and piping as noted on PD1.3
4. Make safe piping changes no longer used
5. Install new material and fixtures per Print P4.3 detail 7 and 8 per notes 5 and 6
6. Insulate as required

Exclude

Plumbing bid for the above-mentioned work: \$ 5133.00

Rivers is pleased to provide a price for the above referenced project. This scope has been prearranged for your use in compiling a comprehensive general contract proposal and to assist in organizing the various prices from other subcontractors. If there are clarifications and/or modifications to the scope, for any portion of this proposal do not hesitate to contact:

Danny Howell at 843-413-9565 ext. 9105 Cell: 843-601-9384 or email
danny.howell@rpecontracting.com

Respectfully,

Danny Howell

Danny Howell
Project Manager

Total Price: \$4,587

Chris Chance at 843-992-8673 ext. 9501 or email chris.chance@rpecontracting.com

Respectfully,

RP&E

147 Aberdeen Drive
Florence, SC 29501
O: (843) 413-9565
F: (843) 968-8206



Mechanical
Electrical
Plumbing

Chris Chance

Assistance Project Manager & Service Coordinator

From: Chris Chance <Chris.Chance@rpecontracting.com>

Sent: Wednesday, July 21, 2021 3:36 PM

To: Matthew Brittan <mbrittan@monteithco.com>; Danny Howell, Sr <danny.howell@rpecontracting.com>

Subject: RE: Rivers Plumbing R.1.pdf - Brunswick County Courthouse

I am taking off

4 hrs of labor for demo not being done on the shower in toilet 3097

Bo said that we did remove the sink in office 3096

8 hrs of labor for not moving roof drains

For a total of \$546.00 credit

I can get you a formal change order on Monday.

Credit for the shower in toilet 3097

Thank you,

Chris Chance

Assistant Project Manager/Service Coordinator

RPE Contracting, Inc.

Mobile: (843) 992-8673

Phone: (843) 413-9565 Ext. 9101

chris.chance@rpecontracting.com

www.rpecontracting.com

PROPOSAL REQUEST FORM**RIVERS**

Project:	Brunswick Court House	Rivers CO No:	004
Contract:	0	Date:	7/7/2021
Contractor:	Monteith Construction Co,	Owner:	0
	0		0
	0		0

Description of Work:

BCCH RFP 32

Materials		Subtotals
1. Total materials	\$1,047.00	
2. Overhead & profit	\$0.00	
3. Sales tax	\$0.00	
4. Shipping and transportation		
		\$1,047.00

Labor		
5. Total man-hours	64	
6. Labor and direct cost	\$2,667.45	
7. Burden (Payroll taxes, insurance, etc...)	\$832.00	
8. Overhead and profit	\$524.92	
		\$4,024.37

Equipment / Tools / Rental		
9. Equipment rental	\$0.00	
10. Sales tax	\$0.00	
11. Overhead and profit	\$0.00	
		\$0.00

Subcontractors		
12. Subcontractors	\$0.00	
13. Overhead & profit	\$0.00	
		\$0.00

Subtotal of Proposal	\$5,071.37
-----------------------------	-------------------

14. Bonds (1.2% of subtotal of proposal)	\$60.87
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Total of Proposal Request	\$5,133.00
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All change orders are subject to attached Rivers change order terms

Contractor's Signature:	<u>Danny Howell</u>	Date:	<u>6/24/2021</u>
--------------------------------	---------------------	--------------	------------------

Owner's Signature:	_____	Date:	_____
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Subcontract OH+P:	5%
Overhead:	10%
Profit:	5%
Total O&P:	15%

[illegible]

To: **Monteith Construction**

28-Jun-21

Attn: Matt Brittain

Re: **Brunswick County Courthouse**
Addition & Renovation

Electrical

From: **TA Woods Company**
Mechanical/Electrical Contractors

ECPR-42 RFP-32 Third Floor Revisions

Provide and install boxes, MC cable, data stubs to above ceiling, fire alarm devices, relocated light fixtures as noted on the revised drawings in RFP-32 for the third floor

1	Materials	\$	654.00	
2	Company Owned Equipment and/or Rental	\$	28.13	see attachment
3	Expendables	\$	13.65	(.35 cents per man-hour)
4	Subtotal	\$	695.78	
5	Sales Tax	\$	45.78	7.00%
A.	Direct Cost Subtotal	\$	741.56	
Man-Hours				
6	Journeyman / Mechanic	\$	1,054.00	34.00
7	Crew Foreman	\$	170.00	5.00
8	Subtotal	\$	1,224.00	
9	Safety 1st - productivity burden	\$	24.48	(2% of labor)
10	Labor Taxes, Insurance and Fringe Benefits	\$	489.60	40%
B.	Labor Cost Subtotal	\$	1,738.08	
11	Total Cost (A+B)		\$2,479.64	
12	Field & Office General Administrative Cost		\$371.95	15%
13	Subtotal		\$2,851.58	
14	Profit		\$142.58	5%
C.	T.A. Woods Total Change		\$2,994.16	
Subcontractors				
15				
16	FA Revisions	\$593.38		BFPE
17		\$0.00		
18		\$0.00		
19	Subcontractor Subtotal	\$593.38		
20	Profit	\$89.01		15%
D.	Subcontractors Total Change		\$682.39	
E.	BOND	\$	46.32	1.26%
F.	TOTAL CHANGE (C+D)		\$3,723.00	

Due to fluctuations in commodity pricing and scheduling pricing only valid for 5 days
Extension of time requested: **6 work** days.

6/28/2021

Pete Browne, Electrical Project Manager Date

Brunswick County Courthouse
ECPR-42
RFP-32 Third Floor Revisions

6/28/2021

		Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equip
SCOPE								
1	1" EMT conduit, fittings, supprot	90	LF	\$2.66	\$239.00	0.144	13.00	
2	Boxes,supports, plaster rings, devices, cove	16	Ea	\$17.81	\$285.00	0.688	11.00	
3	12/2 MC cable, connectors, supports	130	LF	\$1.00	\$130.00	0.054	7.00	
4	Demo	1	LS	\$0.00		3.000	3.00	
5			LF	#DIV/0!		#DIV/0!		
6			E	#DIV/0!		#DIV/0!		
7			LF	#DIV/0!		#DIV/0!		
8			LS	#DIV/0!		#DIV/0!		
9								
10								
Sub Totals					\$654.00		34.00	0.00
11 MISC								
	Labels - Phenolic		Each	\$	-			
Sub Totals					\$	-		
12 Direct Supervision (Crew Foreman)								
		0	LS			4.86	5.00	\$28.13
13 "Just in Time Placement & Handling"								
	Loading & Unloading -	0	lbs			0.030	0.00	
	Loading & Unloading - Roof	0	lbs			0.040	0.00	
	Materials Handling - Lull		LS				0.00	
Sub Totals							0.00	28.13
14 Rentals								
			Weekly					
	Excavator			\$75.00				\$0.00
	Skid Steer			\$600.00				\$0.00
	Tamps			\$265.00				\$0.00
	Delivery and P/U			\$225.00				\$0.00
				\$200.00				\$0.00
Sub Total								\$0.00
15 Totals					\$654.00		34.00	\$28.13

CHANGE ORDER

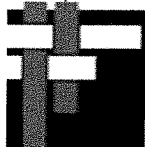
[illegible]

Matt,

See electrical comments below for ARP #117 3rd Floor Revisions.

Thanks,

Jenny Williams, AIA



SAWYER
SHERWOOD
& ASSOCIATE
ARCHITECTURE

124 Market Street
Wilmington, NC 28401
910.762.0892
S2a3.com

From: Mark Ciarrocca <mciarrocca@cheathampa.com>

Sent: Friday, July 16, 2021 12:25 PM

To: Jenny Williams <jenny@s2a3.com>

Cc: Ken Lynch <klynch@cheathampa.com>; Casey Gilman <cgilman@cheathampa.com>; Kay Lynch <office@cheathampa.com>; John Sawyer Architect <john@s2a3.com>

Subject: FW: Brunswick County Courthouse - ARP 117

Jenny,

Comments for electrical:

Brunswick County Courthouse

ECPR-42

RFP-32 Third Floor Revisions

	Quant	Unit Price	M To
--	-------	------------	------

1. Material seems a bit inflated. For discussion, current Home Depot pricing: 10' EMT is \$15 now; \$1.50/ft. Connector is \$1.60ea. Coupling is \$1.60/4 pack. It's kind of difficult to get to \$2.66/ft. Our labor estimate unit is 0.07 hrs / ft; half their proposed unit.

I don't buy from Home Depot, in addition home depot and lowes only adjust their pricing quarterly. I am sure home depot has a 4 pack of cplg for \$1.60 but I am not allowed to use die cast or set screw

1" EMT is currently \$228 a hundred plus the cost of the cplg, conn, straps, screws, etc. as far as labor est. if they can install at that rate through ceiling grid, off ladders and moving up and down in hallways, get me their number, I'll hire them today.

the rate of .07 is a fair rate for running a bunch of conduits on a rack from a lift, but you would still have to include the time to gather materials and build the conduit rack.

2. Not unreasonable. your requirement for data outlets is a 5" box not 4 sq. in addition you have added a TVBS613 TV outlet box these are not \$1 each
 3. MC cable is significantly more what they provided in a proposal last September. \$1.00/ft vs \$0.63/ft. We've seen maybe a 40% increase over that period – not 59% proposed. Their labor unit costs are less than what they have proposed previously – 0.054 vs 0.667.
- MC cable has increased significantly and is now \$.72 per ft plus cost of straps, screws, conn, wire nuts, etc.

Regards,

Mark A. Ciarrocca, P.E.

Cheatham & Associates, PA | Consulting Engineers

3412 Enterprise Drive, Wilmington, NC 28405

mciarrocca@cheatham.com ♦ Phone: 910-452-4210 ♦ Mobile: 910-620-0099

From: Jenny Williams <jenny@s2a3.com>

Sent: Wednesday, July 14, 2021 12:10 PM

To: Kay Lynch <office@cheatham.com>; Ken Lynch <klynch@cheatham.com>; Casey Gilman <cgilman@cheatham.com>; Mark Ciarrocca <mciarrocca@cheatham.com>

Cc: john sawyer Architect <john@s2a3.com>

Subject: Brunswick County Courthouse - ARP 117

Good afternoon,

See attached for ARP 117, regarding Brunswick County Courthouse's 3rd floor revisions. Please review the fire protection, plumbing, electrical, and mechanical cost proposals and let us know if you have any comments.

Thanks,

Jenny Williams, AIA



124 Market Street
Wilmington, NC 28401
910.762.0892
S2a3.com

To: **Monteith Construction**
Attn: Matthew Brittan

28-Jun-21

Re: **Brunswick Courthouse**
Addition & Renovation

MECHANICAL

From: **TA Woods Company**
Mechanical / Electrical Contractors

MCPR-20 RFP 32 Drawing Revision # 13

Detailed below find cost associated with material, labor and equipment to perform scope of work on 3rd floor per recent revision # 13 titled RFP 32. Due to constant fluctuations in material pricing and availability we have a 10 working day limit on proposals.

1	Materials	\$	1,183.00	
2	Company Owned Equipment and/or Rental	\$	90.00	Company Vehicles
3	Expendables	\$	31.50	(.35 cents per man-hour)
4	Subtotal	\$	1,304.50	
5	Sales Tax	\$	82.81	7.00%
A.	Direct Cost Subtotal	\$	1,387.31	
				Man-Hours
6	Journeyman / Mechanic	\$	1,288.00	46.00
	Shop Fabrication	\$	602.00	28.00
7	Crew Foreman	\$	544.00	16.00
8	Subtotal	\$	2,434.00	
9	Safety 1st - productivity burden	\$	48.68	(2% of labor)
10	Labor Taxes, Insurance and Fringe Benefits	\$	973.60	40%
B.	Labor Cost Subtotal	\$	3,456.28	
11	Total Cost (A+B)		\$4,843.59	
12	Field & Office General Administrative Cost		\$484.36	10%
13	Subtotal		\$5,327.95	
14	Profit		\$266.40	5%
C.	T.A. Woods Total Change		\$5,594.35	
				Subcontractors
15		\$710.00		Insulation
16		\$0.00		Controls
17		\$0.00		Test & Balance
18		\$0.00		Gardner Concrete Cutting
19	Subcontractor Subtotal	\$710.00		
20	Profit	\$106.50		15%
D.	Subcontractors Total Change		\$816.50	
E.	BOND	\$	80.78	1.26%
F.	TOTAL CHANGE (C+D)		\$6,491.62	

Due to fluctuations in commodity pricing and scheduling pricing only valid for 10 days
Extension of time requested: 21 calendar days.

Casey Matthews, Project Manager
Date 6/28/2021

Brunswick County Courthouse - Additions & Renovations

6/28/2021

MCPR-20

RFP 32 Drawing Revision # 13

		Quant	Unit	Material	Labor	Labor	Equip
			Price	Total	Unit	Hours	
SCOPE							
1	Fabrication Duct	70	lbs.	\$1.00	\$70.00	0.400	28.00
2	Oval Duct Fittings	0	Ea.	#DIV/0!	\$0.00	#DIV/0!	0.00
3	Installation Ductwork & Branch	70	lbs.	\$3.97	\$278.00	0.343	24.00
4	Fire Damper & Sleeve, Access Door	0	Ea.	#DIV/0!	\$0.00	#DIV/0!	0.00
5	Differs & Grilles	6	Ea.	\$135.00	\$810.00	1.333	8.00
6	Demolition 2nd & 3rd Floors	1	Ea.	\$25.00	\$25.00	8.000	8.00
7							
8							
9							
10							
Sub Totals				\$1,183.00		68.00	0.00
11	MISC						
	Labels - LF/10 = Unit	0	Ea.	\$ -			
Sub Totals				\$ -			
12	Direct Supervision (Crew Foreman)	1	LS		22.67	16.00	\$90.00
13	"Just in Time Placement & Handling"						
	Loading & Unloading -	835	lbs.		0.030	6.00	
	Loading & Unloading - Roof	0	lbs.		0.040	0.00	
	Materials Handling - Lull		LS			0.00	
Sub Totals						6.00	90.00
14	Rentals		Daily				
	Welder & Gases	0	\$75.00				\$0.00
	Excavator	0	\$300.00				\$0.00
	Skid Steer	0	\$265.00				\$0.00
	Pipe Butt Fusion Machine	0	\$200.00				\$0.00
	Pipe Socket Fusion Machine	0	\$130.00				\$0.00
Sub Total							\$0.00
15	Totals			\$ 1,183.00		90.00	\$90.00

SubContractor's Change Order Proposal Cover (Sheet "A")

Brunswick Courthouse Addition & Renovation

(Form used for 1st, 2nd, 3rd tier subs)

Monteith Construction

Detailed Scope Of Work: Proposal includes material, labor and equipment cost associated with concrete patches due to plumbing demolition and temporary plastic barriers maintenance for continued cleanliness in occupied spaces. Price excludes full temporary walls pending the start of RFP 32 scope.

C.O.R. Total*	\$ 1,735.88
---------------	-------------

(Signature here):

Date: 7.13.21

(Type name here): Matt Brittan

Brunswick Courthouse

SubContractor Summary - (Sheet "B")				
<div style="border: 1px solid black; width: 200px; height: 40px; margin: auto;"></div>				
Summary of SubContractor's Self Performed Work				
(1.) (= line e. from Sheet "C").	Total Material*	\$	823.88	
(2.) (=Line e. from Sheet "D").	Total Labor*	\$	912.00	
(3.) (= line e. from Sheet "E").	Total Equipment*	\$	-	
(4.) (=lines 1 + 2 + 3)	Self Performed Work*	\$	1,735.88	
Summary of other Quoted Work (subcontracts)				
(5.) Quote - Subcontractor #1	Quote #1 Total* (without OH&P)	\$	-	
(6.) Quote - Subcontractor #2	Quote #2 Total* (without OH&P)	\$	-	
(7.) Quote - Subcontractor #3	Quote #3 Total* (without OH&P)	\$	-	
(8.) (lines 5 + 6 + 7)	Quoted (subcontract) Work*	\$	-	
(9.) (on line 8)	8% max)	20% OH&P	\$	-
(10.) (lines 8 + 9)	Total - Quoted (subcontract) Work*	\$	-	
(11.) (lines 4 + 10)	Total - Self Performed & Quoted (subcontract) Work* (less bond, ins. &	\$	1,735.88	
(12.) (on line 11.)	(if applicable)	0.00% Bond*	\$	-
(14.) (lines 14 + 16)	C.O.R. Total - All Work*	\$	1,735.88	
* <u>Do Not</u> Round Off Numbers				

SubContractor Material Break Down - (Sheet "C")

[illegible]

	a.	Raw Total*	\$	650.00
(on line b.)	b.	6.75%	Sales Tax	\$ 43.88
		Subtotal	\$	693.88
(on line a.)	c.	20%	OH&P	\$ 130.00
(lines a. + b. + c.)	d.	Total Material*	\$	823.88

*** Do Not Round Off Numbers**

SubContractor Labor Break Down (Sheet "D")

Labor Description	Time	Unit		Cost	Unit	Extension*
Concrete Work/Patching	2.00	HR	@	\$ 25.00 /HR	= \$	50.00
Cleaning	8.00	HR	@	\$ 25.00 /HR	= \$	200.00
Door and Hardware Handling/Offloading	2.00	HR	@	\$ 35.00 /HR	= \$	70.00
Wood Door and Casework Touchup	1.00	LS	@	\$ 250.00 /LS	= \$	250.00
			@	/	= \$	-
			@	\$ - /	= \$	-
			@	\$ - /	= \$	-
			@	\$ - /	= \$	-
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a.	Raw Total*			\$	570.00	
b.	on line a.	40%	Burden	\$	228.00	
c.	on line a.	20%	OH&P	\$	114.00	
d.	(lines a. + b. + c.)	Total Labor*			\$	912.00

* Do Not Round Off Numbers

SubContractor Equipment Break Down (Sheet "E")

Equipment Type	Rental Per Hour		Rental Per Day		Rental Per Week		Rental Per Month		Extension*
	Hour(s)	Charge	# Day(s)	Charge	# Week(s)	Charge	# Month(s)	Charge	
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -
	/hr(s)	@ \$ - /hr	day(s)	@ \$ - /day	/wk(s)	@ \$ - /wk(s)	/mth(s)	@ \$ - /mth(s)	\$ -
a.									Raw Equipment* \$ -
Shipping Breakout									
Equipment Type	Unit	Unit Cost							Extension
		@ \$ -							\$ -
		@ \$ -							\$ -
b.									Shipping Cost* \$ -
<div style="display: flex; justify-content: space-between;"> <div>(No sales tax charge on contractor owned equipment)</div> <div>Enter 0 on line c. If contractor owned</div> <div> c. (on line a.) 6.75% Sales Tax \$ - </div> </div>									
<div style="display: flex; justify-content: space-between;"> <div></div> <div> d. (on line a.) 20% OH&P \$ - </div> </div>									
<div style="display: flex; justify-content: space-between;"> <div></div> <div> e. (lines a. + b. + c. + d.) Total Equipment* \$ - </div> </div>									

* Do Not Round Off Numbers

Brunswick County Courthouse Addition & Renovations
Request for Proposal 32
Third Floor Revisions



June 17, 2021

To: Mr. Matt Brittan
Monteith Construction
208 Princess St
Wilmington, North Carolina 28401

Matt,

Please provide a cost for the changes made to the third floor Judges' Office Suite and room 3097. See ABD17.0, attached, for the selective demolition plan at the Judges' Office Suite and refer to the following revised drawings for the rest of the changes:

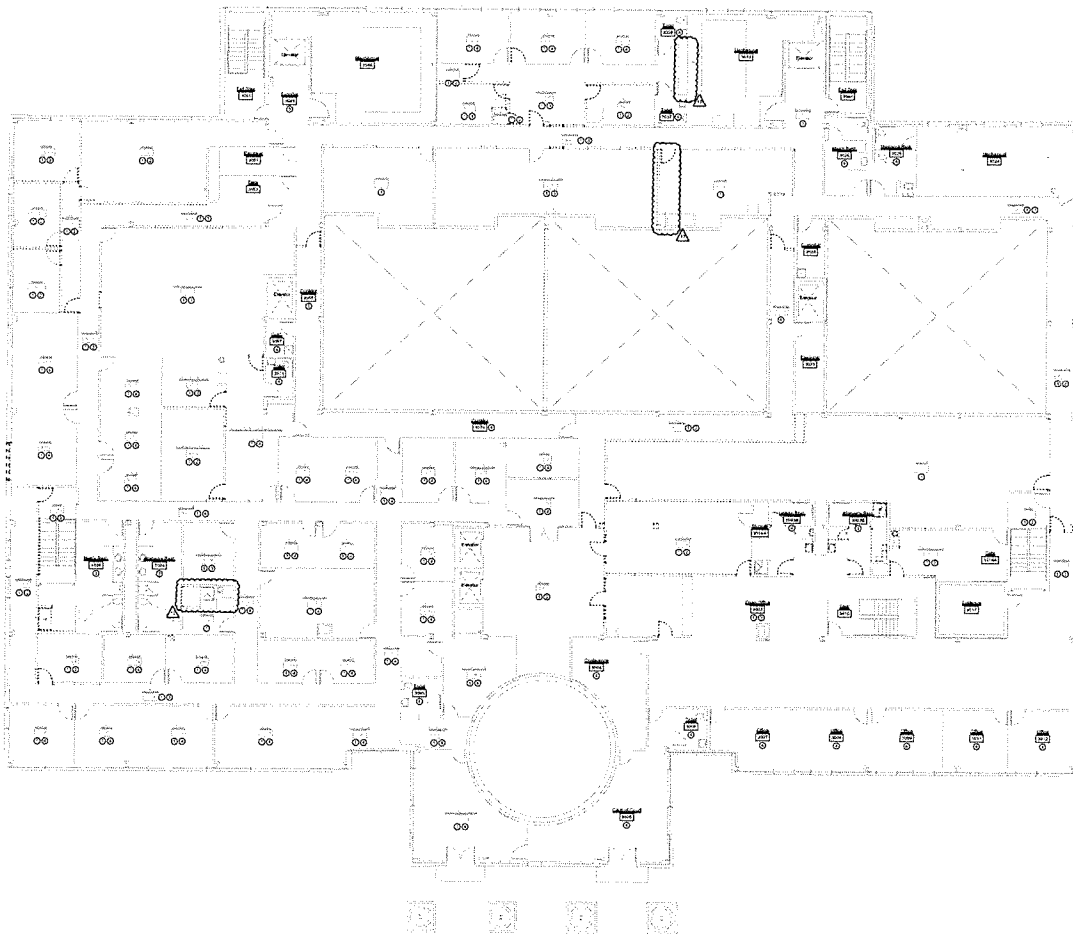
Architectural:

- AD1.2 Third Floor Demolition Plan
- A1.2 Third Floor Plan
- A4.1 Enlarged Restroom Plan
- A6.1 Finish & Door Schedules
- A7.2 Casework Elevations
- A7.2a Casework Elevations & Sections

The following door hardware has been added; refer to revised architectural floor plans for door numbers:

- Door 3032E
 - o New Pair of 1'-6" x 7'-0" x 1-3/4" WD x HMF
 - o Door Hardware:
 - (1) Passage Latch (Corbin Russwin CL3310 NZD, 626 finish)
 - (3) Hinge (McKinney TA2714 NRP 4-1/2" x 4-1/2", US26D finish)
 - (3) Silencer (Rockwood 608- RKW)
- Door 3032D
 - o New 3'-0" x 7'-0" x 1-3/4" WD x HMF
 - o Assign to Bid Hardware Set 38.0
- Door 3097A
 - o Existing door, frame and hardware
 - o Change lock type to Privacy Lock (McKinney CL3320 NZD, 626 finish)
 - o Verify in field

John R. Sawyer, AIA



1 Third Floor Demolition Plan
NOT 17

Demolition Key Notes	
1	Demolition Key Notes
2	Demolition Key Notes
3	Demolition Key Notes
4	Demolition Key Notes
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99	Demolition Key Notes
100	Demolition Key Notes



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**Brunswick
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Courthouse
Addition &
Renovations**

Bolivia, NC

Construction Drawings
September 23, 2019

REVISIONS:
1. ADDENDUM 1
2. ADDENDUM 2
3. ADDENDUM 3
4. ADDENDUM 4
5. ADDENDUM 5
6. ADDENDUM 6
7. ADDENDUM 7
8. ADDENDUM 8
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100. ADDENDUM 100

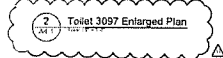
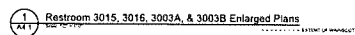
Third Floor
Demolition Plan


AD1.2
03 of 03



A1 2

A1 2

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 RFP 22 - 2nd Floor Elevations

A4.1

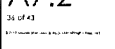
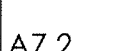
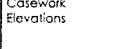
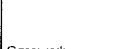
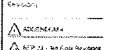
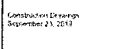
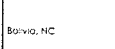
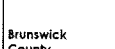
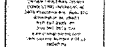
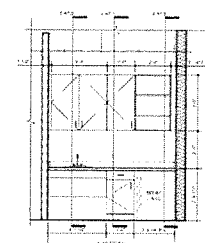
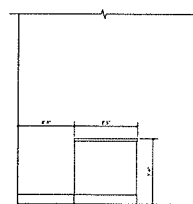
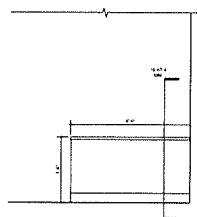
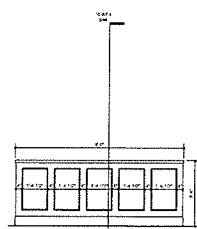
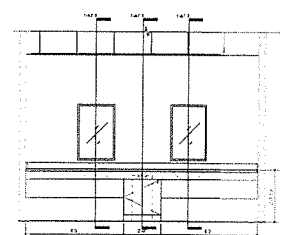
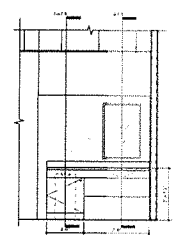
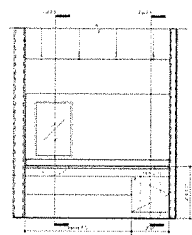
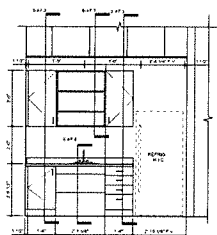
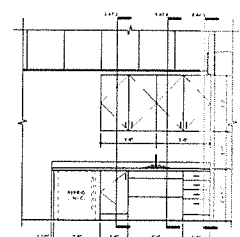
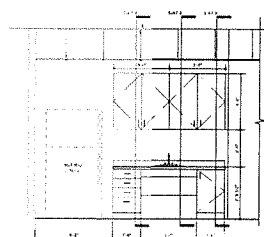
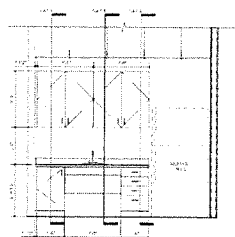
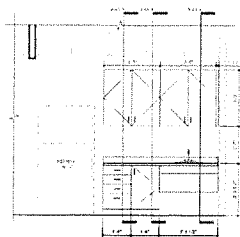
Room #	Room Name
200A -	2nd Fl. J.C. & M. Plaster - Remodeling
202B -	2ND FLOOR
206A -	COUNCILMAN'S OFFICE
207A -	
208A -	
209A -	
210A -	

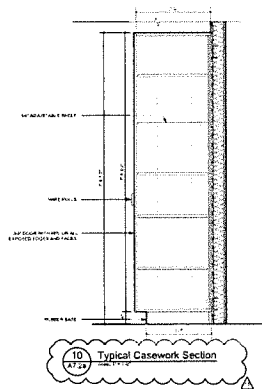
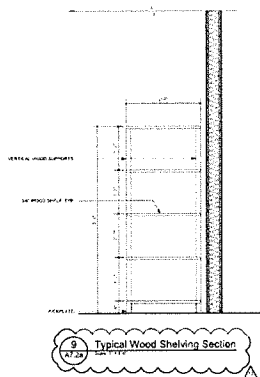
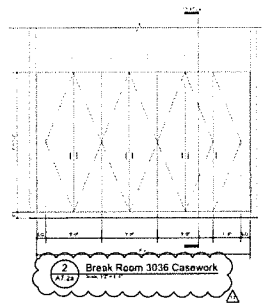
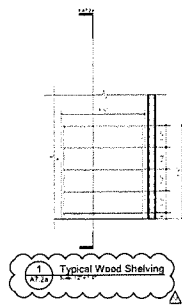


Revisions:

	ADDENDUM 3
	ADDENDUM 4
	7-16-2020 Dear Healthcare re:
	HRP 54 - Data Re Control 2061 Data
	HRP 32 - 3rd Floor Recessions

A6.1





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Addition &
Renovations**

Bolivia, NC




Construction Drawings
September 23, 2019

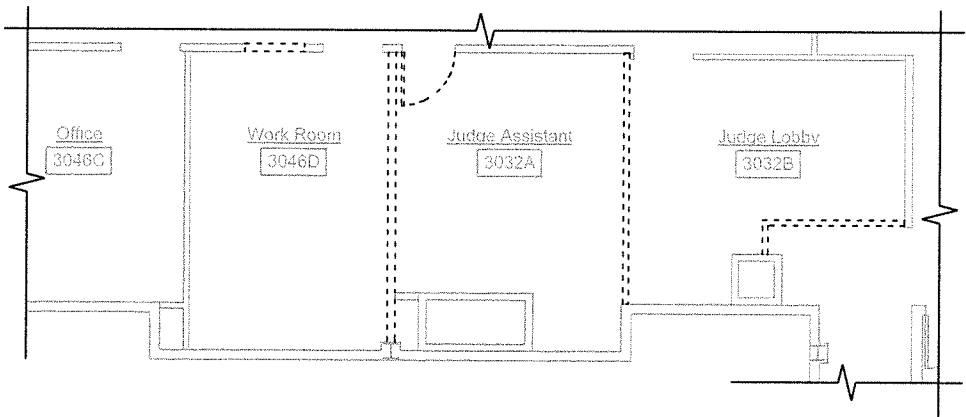
Revised:

APP 31 - 3rd Floor Plans

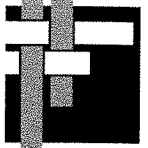
Casework
Elevations &
Sections

A7.2a
27 of 43

Demolition Legend	
	Existing to remain
	Remove wall & wall base
	Remove door, frame & hardware



1
 ABD17.0 **Current Framing Demo Plan**
 Scale: 1/8" = 1'-0"



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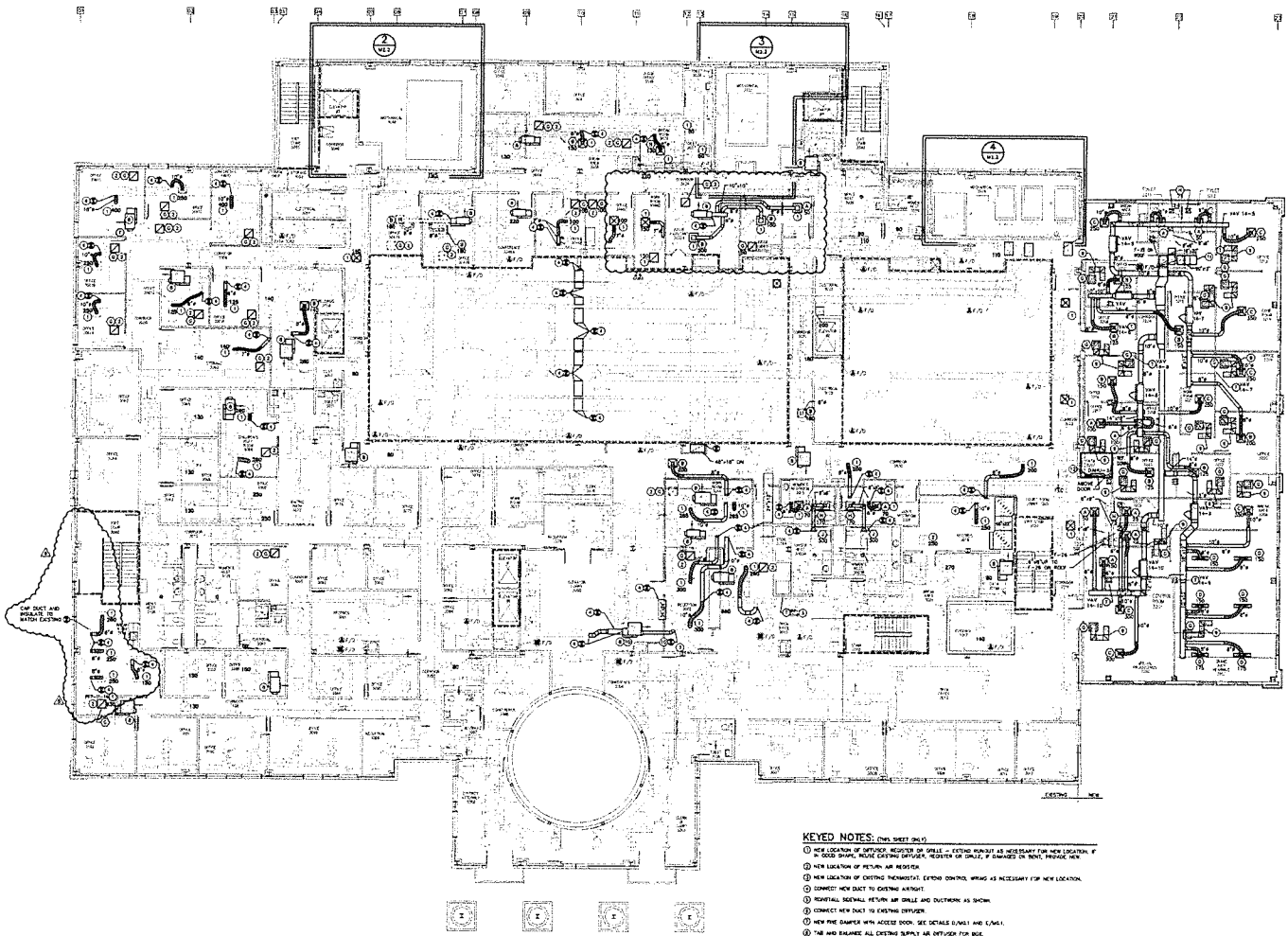
**Brunswick
County
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Addition &
Renovation**
 Bolivia, NC

Revisions:

Third Floor Selective
 Demolition Plan
 June 07, 2021

ABD17.0

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KEYED NOTES: (THIS SHEET ONLY)

- ① NEW LOCATION OF SUPPLY REGISTER OR GRILLE - EXTEND MAINLINE AS NECESSARY FOR NEW LOCATION. IF A GOOD DUCT RUNS EXISTING SUPPLY, REGISTER OR GRILLE IS REMOVED IN ROOM, PROVIDE AIR.
- ② NEW LOCATION OF RETURN AIR REGISTER
- ③ NEW LOCATION OF EXISTING TERMINATE, EXTEND CONTROL WIND AS NECESSARY FOR NEW LOCATION.
- ④ CONNECT NEW DUCT TO EXISTING MAINLINE
- ⑤ REMOVAL REPAIR RETURN AIR GRILLE AND OUTGOING AS SHOWN
- ⑥ CONNECT NEW DUCT TO EXISTING EXTERIOR
- ⑦ NEW FINE GAUGE WITH ACCESS DOOR, SEE DETAILS S1001 AND S1002
- ⑧ THE TWO EXISTING ALL EXISTING SUPPLY AIR DIFFUSER FOR ROOM
- ⑨ INTERNALLY LINED RETURN AIR DUCT, SEE DETAIL F1001
- ⑩ RELOCATED TO NEW LOCATION, EXTEND MAINLINE TO NEW FINE GAUGE DUCT SIZE AND LOCATION, RECONNECT EXISTING AIR-CONDITIONED DUCT, HANGING AND ACCESSORIES TO NEW FINE GAUGE LOCATION, PROVIDE MINIMUM 18" CLEARANCE
- ⑪ EXISTING OPEN END OF DUCT WITH 1/2" DIA. 1/2" DIA. NEW MAIN, RETURN AIR DUCT TO ABOVE CEILING

1 THIRD FLOOR MECHANICAL RENOVATION PLAN
SCALE: 1/8" = 1'-0"

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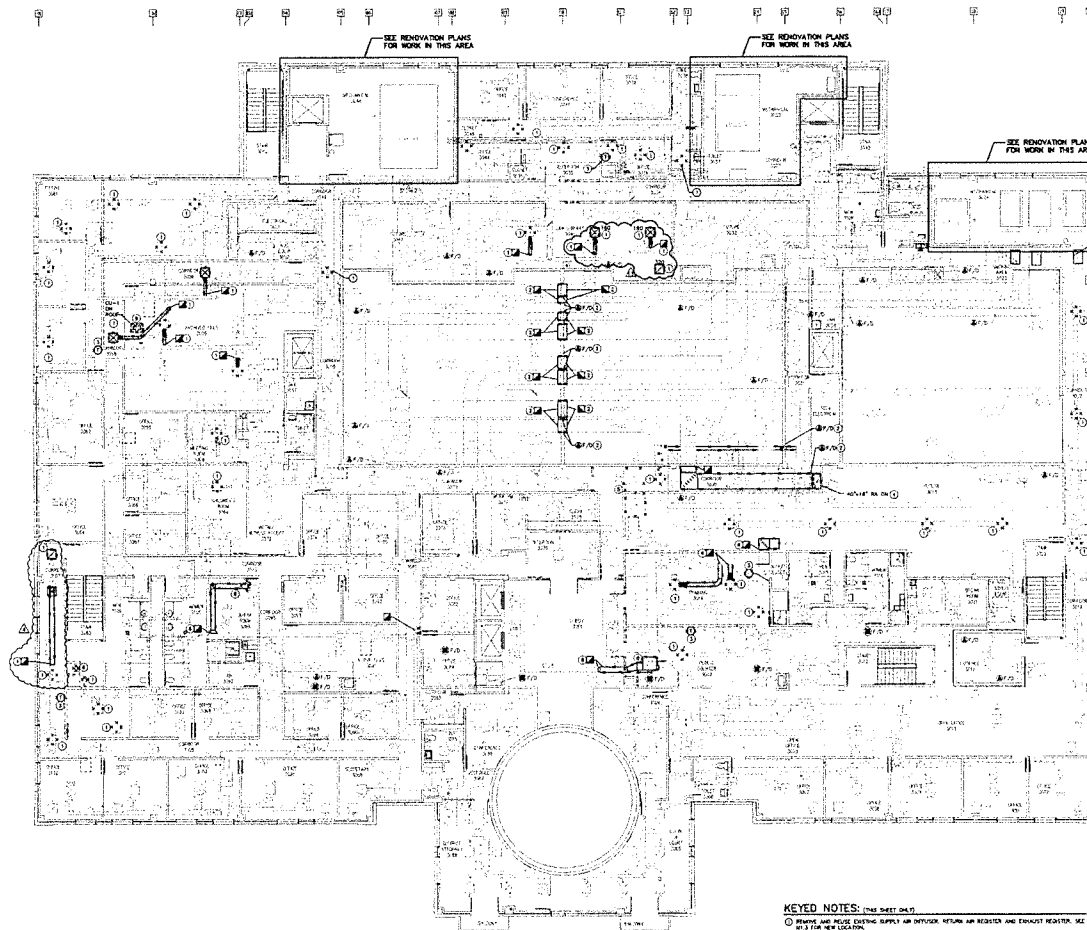
**Brunswick
County
Courthouse
Addition &
Renovations**
BOLIVIA, NC

CONSTRUCTION DRAWING NO.
SEPTEMBER 22, 2017

REVISIONS:
1. WORKING PLOT REVIEW
2. REVISIONS - SEE
3. PLANNING WORKSHEET

**THIRD FLOOR
MECHANICAL
RENOVATION PLAN**

M1.3
OF 20



THIRD FLOOR MECHANICAL DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

- KEYED NOTES: (THIS SHEET ONLY)**
- ① REMOVE AND RELIEVE EXISTING SUPPLY AIR DIFFUSER, RETURN AIR REGISTER AND EXHAUST REGISTER. SEE MD1.3 FOR NEW LOCATION.
 - ② REMOVE EXISTING FIRE DAMPER. RECONNECT DUCTWORK UPSTREAM AND INSULATE TO MATCH EXISTING.
 - ③ REMOVE AND RELIEVE EXISTING THERMISTAT. SEE MD1.3 FOR NEW LOCATION.
 - ④ REMOVE RETURN AIR DUCTWORK AND FIRE DAMPER 12 INCH. GENERAL CONTRACTOR TO PATCH WALL ON FLOOR.
 - ⑤ REMOVE RETURN AIR PLUMB TRANSFER DUCT CONTROL CONTROLLER TO PLUMB WALLS TO MATCH.
 - ⑥ REMOVE EXHAUST AIR DUCT AND GRILLE. CAP DUCT UPSTREAM AND INSULATE TO MATCH EXISTING.
 - ⑦ REMOVE EXHAUST AIR AS NECESSARY TO INSTALL NEW FIRE DAMPER AND ACCESS DOOR. SEE MD1.3 FOR DAMPER LOCATION.
 - ⑧ REMOVE PORTION OF SUPPLY AIR DUCT AND RELIEVE BOLT TO PATCH NEW WALL LOCATION.
 - ⑨ REMOVE DUCT 1 ON ROOF AND SEAL ALL EXISTING OPENINGS TO ROOF SUPPORTS NEAR EXHAUST. REMOVE NEIGHBORING PERIOD ELECTRICAL PANEL TO REMOVE AND ALL ACCESSORIES. SEAL, REMOVE PER NEIGHBORING PERIOD ELECTRICAL PANEL AND NEIGHBORING. REMOVE ALL NEIGHBORING PERIOD BOLT TO MATCH SUPPORTS AND ALL ACCESSORIES.



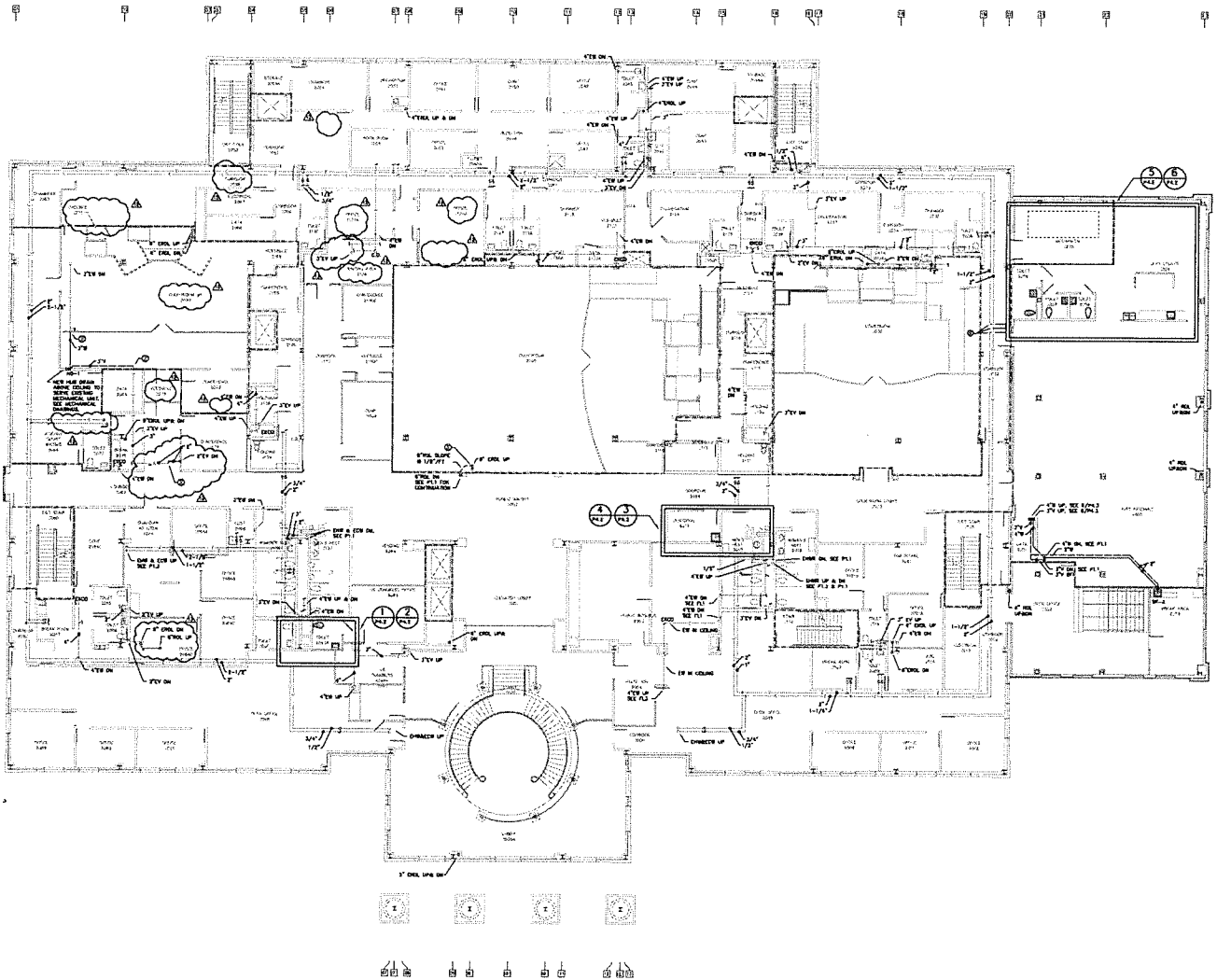
**Brunswick
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Renovations**
 Bolivia, NC

CONSTRUCTION DRAWINGS
SEPTEMBER 23, 2019

SHEETS:
 BUILDING PERMIT REVIEW
 PREPARED BY: [Signature]
 CHECKED BY: [Signature]

**THIRD FLOOR
MECHANICAL
DEMOLITION PLAN**

MD1.3
 OF 20



1 PLUMBING PLAN SECOND FLOOR
SCALE: 1/8" = 1'-0"



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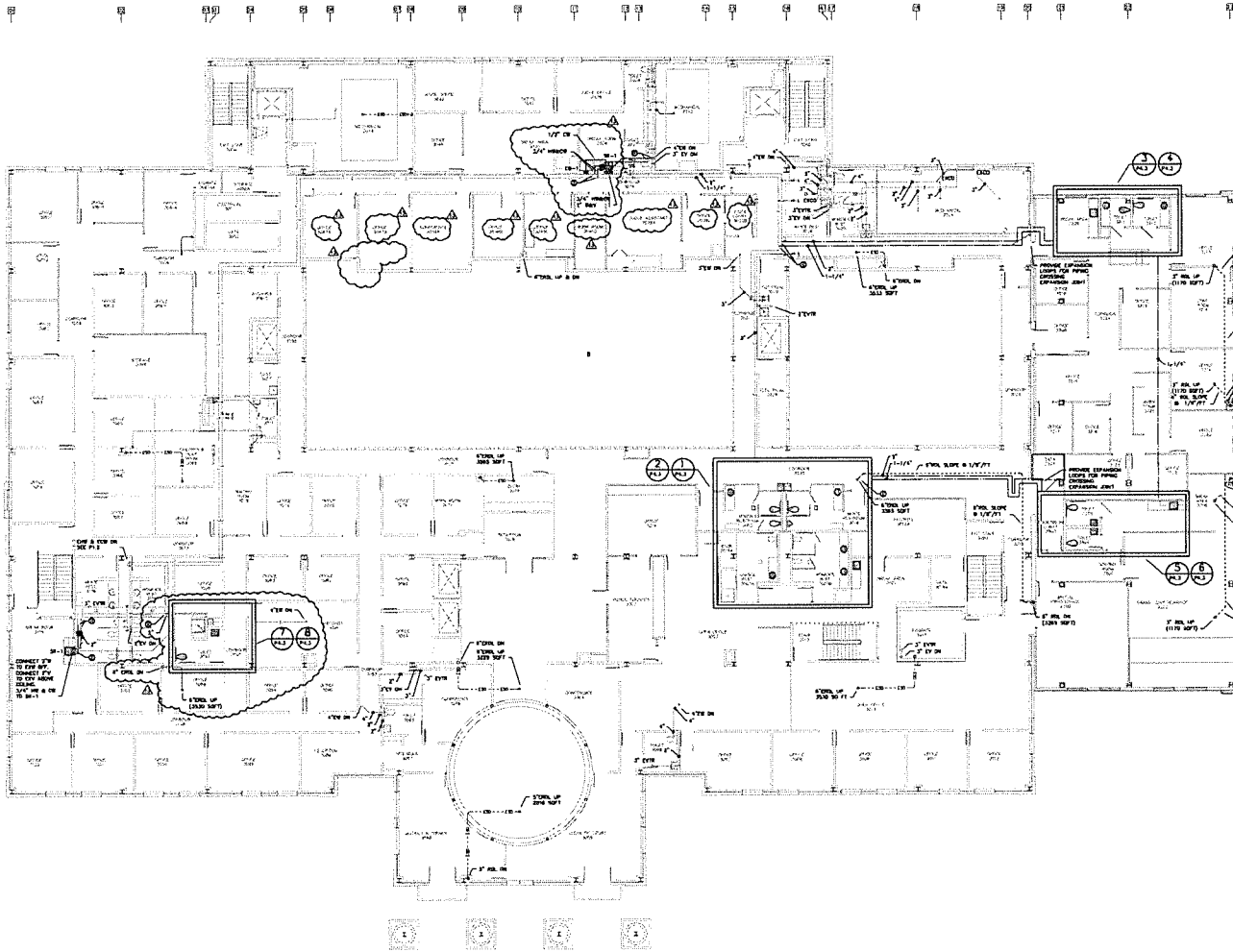
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DATE: 08/21/2018

REV: 00000
1. SEE 1ST FLOOR FOR DETAILS
2. SEE 1ST FLOOR FOR DETAILS

PLUMBING PLAN
SECOND FLOOR

P1.2

7 OF 12



1 PLUMBING PLAN THIRD FLOOR
SCALE: 1/8" = 1'-0"

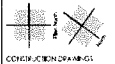
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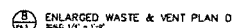
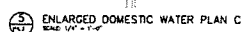
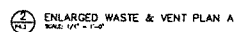
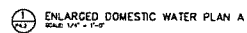
CONSTRUCTION OF 100-01
SEPTEMBER 23, 2019

Revisions:
1. REV. 10-20-2019 PLUMBING REVISION

PLUMBING PLAN
THIRD FLOOR

P1.3

8 OF 12



1. CONNECT LAVATORY TO EXISTING DRAINAGE-WH. BEHIND AS REQUIRED.

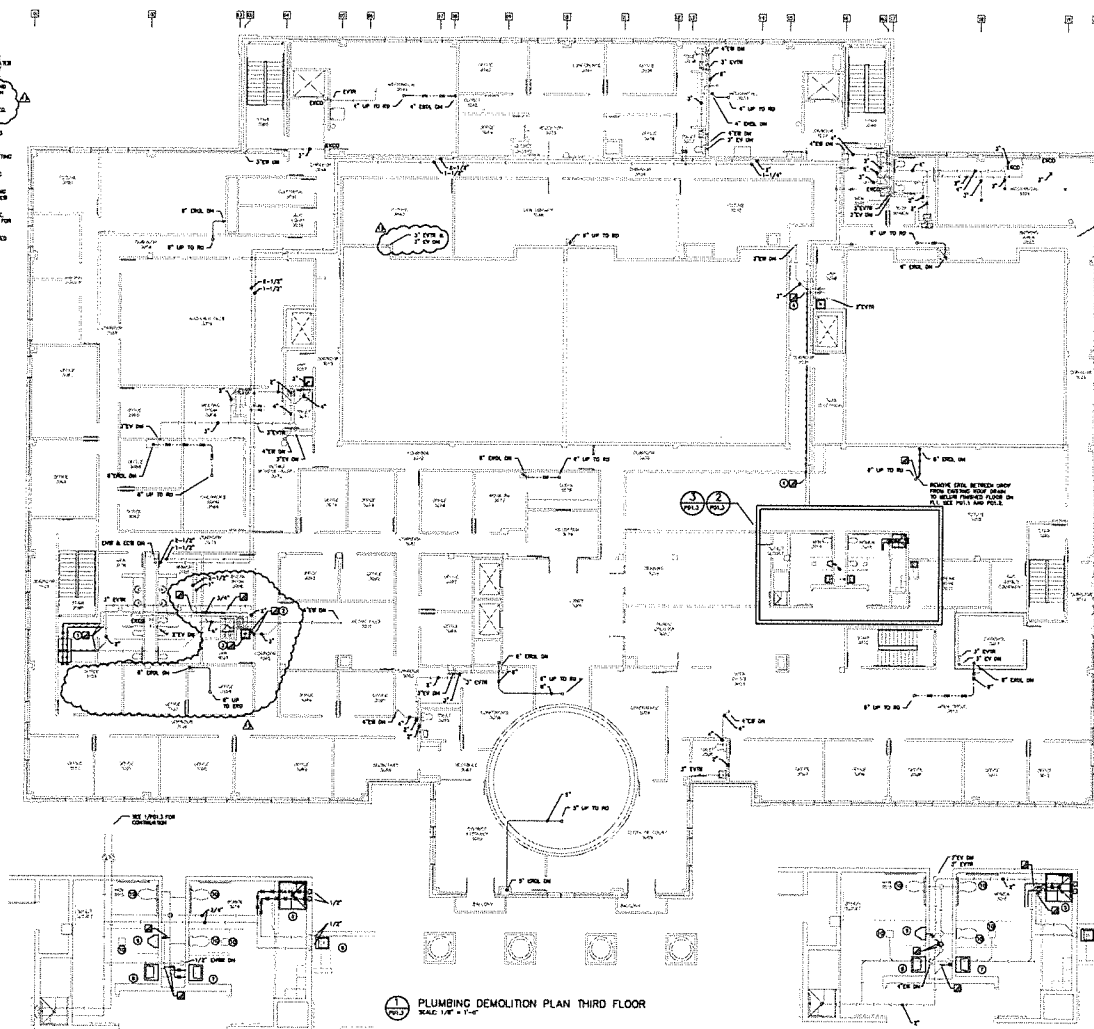
2. CONNECT LAVATORY TO EXISTING 1/2" DOMESTIC WATER, WASTE, AND VENT DRAINAGE-WH. BEHIND AS REQUIRED.

3. CONNECT WATER CLOSET TO EXISTING WASTE AS INDICATED.

4. EXISTING FLOOR TO REMAIN. PROTECT FROM DAMAGED PLUMBING CONSTRUCTION.

5. CONNECT 3/4" WASTE TO EXISTING 3/4" WASTE. PROVIDE 3 x 3 REDUCER AT CONNECTION POINT.

6. REMOVE EXISTING SINK. SHUT OFF HOT AND COLD WATER AND DISCONNECT TO EXISTING 1/2" WASTE. REMOVE SINK AND 1/2" WASTE.

[illegible]

2 ENLARGED DEMOLITION DOMESTIC WATER
PLOT SCALE: 1/4" = 1'-0"

ENLARGED DEMOLITION WASTE & VENT
SCALE: 1/8" = 1'-0"

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& A S S O C I A T E S
A R C H I T E C T S**



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Addition &
Renovations**

Bolivia, NC

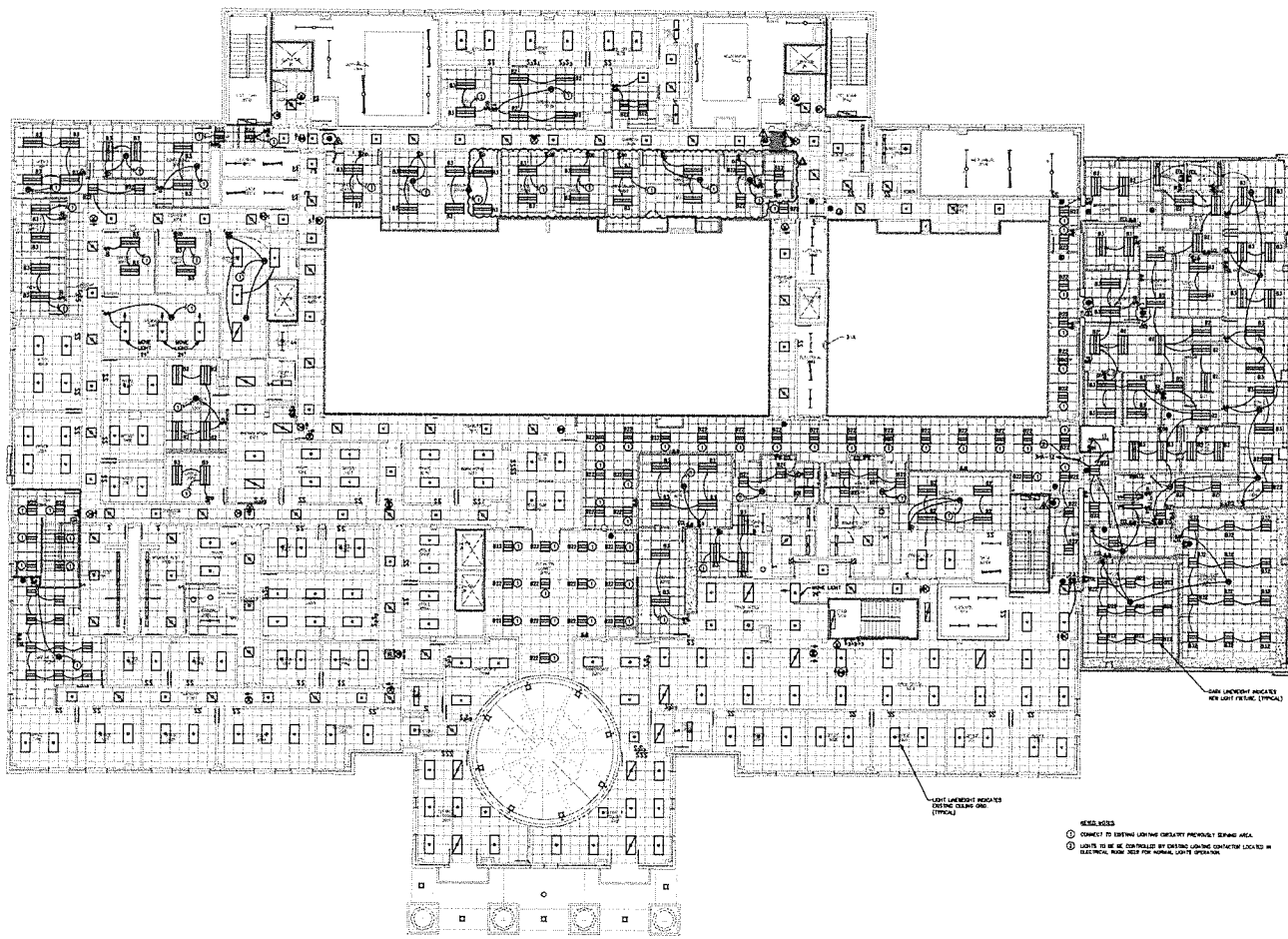
CONSTRUCTION DRAWINGS

Revised:

PLUMBING
DEMOLITION PLAN
THIRD FLOOR

PD1.3

5 OF 12



ELECTRICAL 3RD FLOOR LIGHTING PLAN



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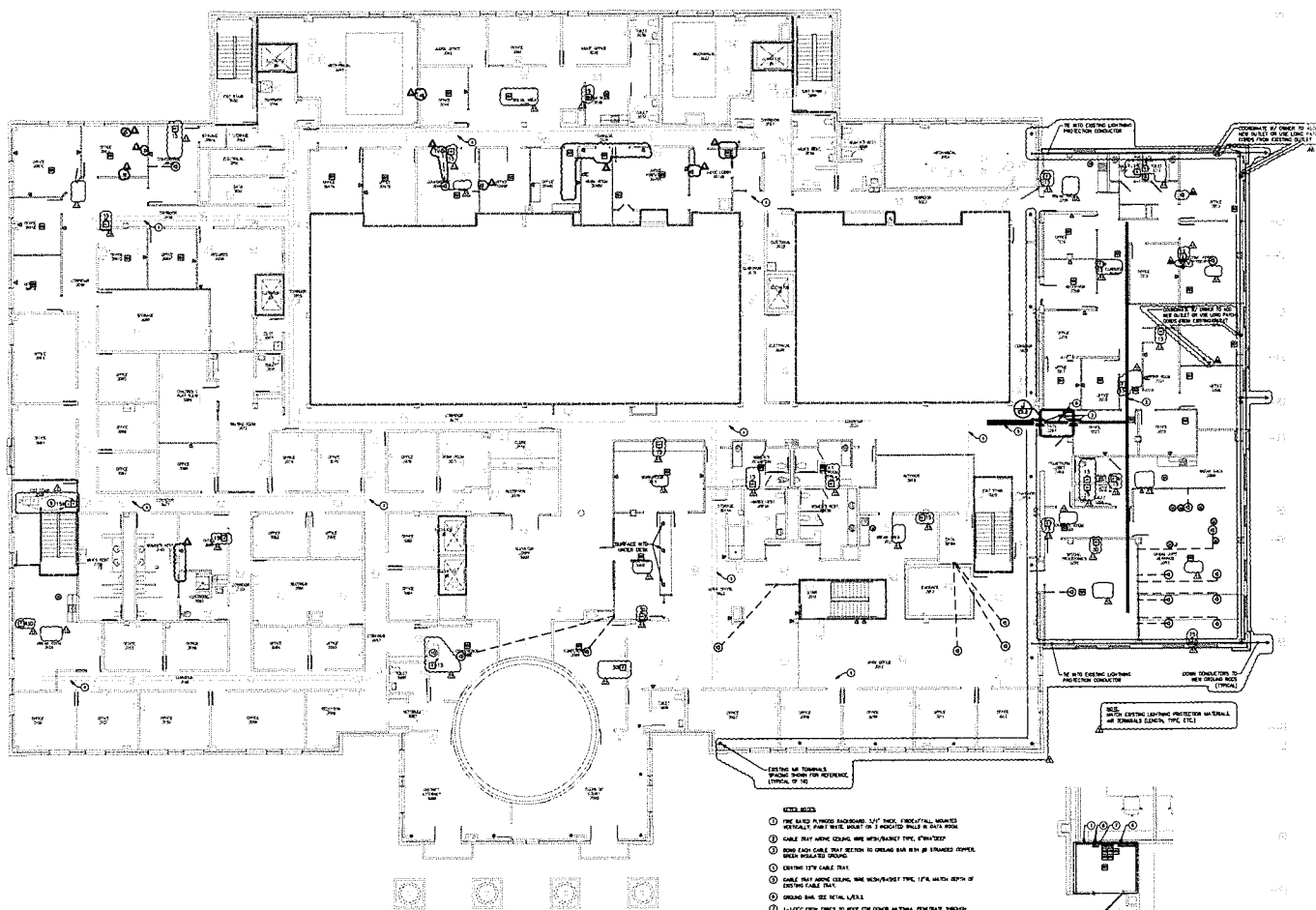
CONSTRUCTION DRAWINGS
SEPTEMBER 21, 2018

Revisions

1	ADDITIONAL REVISIONS
2	ADDITIONAL REVISIONS
3	ADDITIONAL REVISIONS

**ELECTRICAL
3RD FLOOR
LIGHTING PLAN**

E1.8



- NOTES:**
1. THE BUILT-UP FLOOR FINISHES: 1/2" THICK, FIBERGLASS, MOUNTED VERTICALLY, FIRST FLOOR, MOUNTED IN 3' HORIZONTAL RAILS IN DATA ROOM.
 2. CABLE TRAY LAYOUT: SEE 3RD FLOOR TRAY LAYOUT.
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ELECTRICAL 3RD FLOOR AUXILIARY SYSTEMS PLAN
SCALE: 1/4" = 1'-0"

ENLARGED DATA ROOM 3207
SCALE: 1/4" = 1'-0"



**SAWYER
SHERWOOD
& ASSOCIATES
ARCHITECTURE**

100 MARKET STREET, SUITE 200
NEW BRUNSWICK, NJ 08901
TEL: 732-839-1100
WWW.SAWYERSHERWOOD.COM



**Brunswick
County
Courthouse
Addition &
Renovations**
Baltimore, NC

CONTR:JC-CH-0000-001
SEPTEMBER 23, 2019

Revisions	
1. REVISION	1/15/20
2. REVISION	1/15/20
3. REVISION	1/15/20
4. REVISION	1/15/20
5. REVISION	1/15/20

**ELECTRICAL
3RD FLOOR
AUXILIARY SYSTEMS
PLAN**

E1.9

Allowance Reduction Proposal



Wilmington
Raleigh
Charleston

208 Princess
Wilmington, NC 28401
P: 910-791-8101
monteithco.com

Date: 7.12.21

Project: Brunswick County Courthouse Addition & Renovations

Owner Address: 310 Government Center Drive, NE
Bolivia, North Carolina 28422

ARP #: 128

Proposal includes all labor, material, and equipment cost associated with refeeding circuitry in Rooms 1063 and 1070 due to demolition of walls where existing feeding conduit was located.

<u>Subcontractor</u>	<u>Proposal Total</u>
<u>TA Woods</u>	<u>\$14,334.00</u>
<u>N/A</u>	<u>\$0.00</u>
<u>N/A</u>	<u>\$0.00</u>
<u>N/A</u>	<u>\$0.00</u>
TOTAL SUBCONTRACTS	<u>\$14,334.00</u>
5% GC FEE	<u>\$716.70</u>
TOTAL CHANGE AMOUNT	<u>\$15,050.70</u>

Sincerely,

Matt Brittan

Matt Brittan

Monteith Acceptance

Owner Acceptance

MONTEITH
CONSTRUCTION CORP.
RALEIGH | WILMINGTON

TA Woods Response:

ARP 128:

		Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equ
SCOPE								
1	3/4" EMT conduit, fittings, supports	600	LF	\$1.97	\$1,182.00	0.153	92.00	
2	#12 THHN wire, terminations	5000	LF	\$0.25	\$1,230.00	0.012	61.00	
3	4sq J boxes, supports, pig tails	8	Each	\$17.88	\$143.00	0.625	5.00	
4	8x8xj boxes, supports, pig tails	3	Each	\$45.00	\$135.00	4.000	12.00	

Our comment here would be to address the inconsistency of pricing between ARPs for the same items. See previous review comments today for some examples.

We have not been involved to a great degree with the specifics of this one to judge whether quantities are accurate.

as previously stated we price based on material pricing available at the time of pricing

To: **Monteith Construction**
Attn: Matt Brittain

07-Jul-21

Re: **Brunswick County Courthouse**
Addition & Renovation

Electrical

From: **TA Woods Company**
Mechanical/Electrical Contractors
ECPR-43 **Hidden Junction Boxes**

We have encountered multiple 8x8 junction boxes located above ceilings, these boxes feed multiple circuits in various areas. The conduit feeding these boxes is installed below slab and turned up in walls that have been demoed. We will have to refeed each of these circuits in order to allow continued operation of the devices and lighting, on both normal power and emergency power.

1	Materials	\$	2,690.00	
2	Company Owned Equipment and/or Rental	\$	135.00	see attachment
3	Expendables	\$	67.90	(.35 cents per man-hour)
4	Subtotal	\$	2,892.90	
5	Sales Tax	\$	188.30	7.00%
A.	Direct Cost Subtotal	\$	3,081.20	
				Man-Hours
6	Journeyman / Mechanic	\$	5,270.00	170.00
7	Crew Foreman	\$	816.00	24.00
8	Subtotal	\$	6,086.00	
9	Safety 1st - productivity burden	\$	121.72	(2% of labor)
10	Labor Taxes, Insurance and Fringe Benefits	\$	2,434.40	40%
B.	Labor Cost Subtotal	\$	8,642.12	
11	Total Cost (A+B)		\$11,723.32	
12	Field & Office General Administrative Cost		\$1,758.50	15%
13	Subtotal		\$13,481.82	
14	Profit		\$674.09	5%
C.	T.A. Woods Total Change		\$14,155.91	
				Subcontractors
15				
16				
17			\$0.00	
18			\$0.00	
19	Subcontractor Subtotal		\$0.00	
20	Profit		\$0.00	15%
D.	Subcontractors Total Change		\$0.00	
E.	BOND	\$	178.36	1.26%
F.	TOTAL CHANGE (C+D)		\$14,334.00	

Due to fluctuations in commodity pricing and scheduling pricing only valid for 5 days
Extension of time requested: **6 work** days.

7/7/2021
Pete Browne, Electrical Project Manager Date

Brunswick County Courthouse
ECPR-43
Hidden Junction Boxes

7/7/2021

		Quant	Unit	Price	Material Total	Labor Unit	Labor Hours	Equip
SCOPE								
1	3/4" EMT conduit, fittings, supports	600	LF	\$1.97	\$1,182.00	0.153	92.00	
2	#12 THHN wire, terminations	5000	LF	\$0.25	\$1,230.00	0.012	61.00	
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4	8x8x j boxes, supports, pig tails	3	Each	\$45.00	\$135.00	4.000	12.00	
5			LF	#DIV/0!		#DIV/0!		
6			E	#DIV/0!		#DIV/0!		
7			LF	#DIV/0!		#DIV/0!		
8			LS	#DIV/0!		#DIV/0!		
9								
10								
Sub Totals					\$2,690.00		170.00	0.00
11 MISC								
	Labels - Phenolic		Each	\$	-			
Sub Totals					\$			-
12 Direct Supervision (Crew Foreman)								
		0	LS			24.29	24.00	\$135.00
13 "Just in Time Placement & Handling"								
	Loading & Unloading -	0	lbs			0.030	0.00	
	Loading & Unloading - Roof	0	lbs			0.040	0.00	
	Materials Handling - Lull		LS				0.00	
Sub Totals							0.00	135.00
14 Rentals								
			Weekly					
			\$75.00					\$0.00
	Excavator		\$600.00					\$0.00
	Skid Steer		\$265.00					\$0.00
	Tamps		\$225.00					\$0.00
	Delivery and P/U		\$200.00					\$0.00
Sub Total								\$0.00
15 Totals					\$2,690.00		170.00	\$135.00

