# Brunswick County Courthouse Change Order #2

July 22,2021



- Vehicle Gate: Change to separate gates with one gate controlling ingress, and a separate gate controlling egress.
   \$80,884.00
- 2. Courtroom #5 (juvenile court) This change includes:

\$87,337.00

- a. Major plan revisions to courtroom 5.
- b. Juvenile justice plan revision in the reception area.
- c. Revisions to the conference rooms serving courtroom 5
- d. Revisions to the courtroom entrance.
- 3. Courtroom #6 (large Superior Courtroom) revisions. This change includes:

\$40,993.00

- a. The deliberation room, judges chambers and hallway access are all changed to provide more direct access from the courtroom.
- b. The judges bench is revised to add visibility of all access routes up onto the bench.
- 4. Third Floor revisions.

\$49,010.00

This change includes:

- a. Revisions to the District Court Judges office suite adding an administrative assistants office and reducing the public waiting area.
- b. Revisions in the District Attorney Office suite to create a single occupant gender neutral restroom by renovating to re-purpose an existing shower in the women's restroom
- c. Adding a partition and door allowing an open work space to become a private office.
- 5. First floor electrical circuit rebuilding. \$15,051.00

  Existing conduit and wiring method routes power feeds concealed under the slab and up through partitions to above ceiling boxes where branch circuits are tied in. Walls that concealed this wiring method are being removed. The feeders must be rebuilt overhead above ceiling back to the power panels.

The architect and consulting engineers have reviewed the proposals, the contractor made adjustments and provided additional information based on the review resulting in the proposals recommended.

Submitted by John R. Sawyer project architect

# **Allowance Reduction Proposal**



Date:

208 Princess Wilmington, NC 28401 P: 910-791-8101 monteithco.com

Date:	7.20.21					
Project:	Brunswick County Courthouse Addition & Renovations					
Owner Address:	310 Government Center I					
	Bolivia, North Carolina 28	422				
	AR	P #: 119 Rev 1				
hardscapes outlir being out with C	les all labor, material, and e ned in RFP 36. Note, Carolin Covid. Reference Frye Fenci gate and operator. Coordin approved by OAC prior	a Creations number is a ng proposal for deduct	a placehol option inc h expectat	der due to their Est cluded in this propo tions to be discusse	imator sal to	
	Subcontractor			Proposal Total		
	Frye Fencing		-	\$64,100.00		
	TA Woods		-	\$4,632.00		
	Carolina Creations		-	\$8,300.00		
	N/A		_	\$0.00		
		TOTAL SUBCONTRA	ACTS _	\$77,032.00		
		5% GC FEE	-	\$3,851.60		
		TOTAL CHANGE AM	OUNT _	\$80,883.60		
		Sin	cerely,	Matt Brittan		
			٨	1att Brittan		
Owne	r Acceptance		Мо	nteith Acceptance		

MONTEITH CONSTRUCTION CORP. RALEIGH | WILMINGTON



FRYE FENCE CO., INC. 3221 Durham Drive Suite 115 RALEIGH, NC 27603

Phone (919) 779-4700

SANCANCES	Sandaya (	Sec. 20		39.00			
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	3					7 - W	
2019B	armeters and	No. of Concession,		SECURIOR SEC	A CONTRACTOR OF THE PARTY OF TH	100000000000000000000000000000000000000	450000

Fax (919) 779-7667		PHONE	DATE 07/07/21
TO: Monteith		JOB NAME / LOCATION	07707721
		Brunswick County Co	urt House
		Brunswick County Co	art House
		CHANGE ORDER	
		JOB NUMBER	JOB PHONE
e hereby submit specifications and estimate	s for:	All Controls of the Control of the C	
I. Take out existing auto gate. Furn	nish and install two new 13' aut	o gates.	
• 2 operators			
<ul> <li>2 buckeye gates</li> </ul>			
<ul> <li>3 loop detectors</li> </ul>		\$74,000	.00
• 2 photo eyes		-13,0	00
• •		-, \$61,00	00
Concrete: \$5,000.00		and the second second	
Material: \$46,000.00			
Labor: \$18,000.00	and the second s		\$61,000
Equipment Rental: \$5,000.0	0		\$3,100
			Total: \$64,100
*Deduct \$13,000.00 from above			
		ł	
<ul> <li>Modify existing gate an</li> </ul>	- 1	198000	
• Furnish and install one in II. Take out and relocate 50' of exists.	new auto gate.  sting fencing (ornamental).	£2.100.	00
• Furnish and install one in Furnish and relocate 50' of exist Furnish and install approximated Materials: \$1,600.00 Labor: \$1,500.00 ue to the unpredictability of the domestic	sting fencing (ornamental).  ly 30' of new fencing to match e	is quote for eight days. We a	pologize for the inconvenience.
• Furnish and install one in Furnish and relocate 50' of exist Furnish and install approximated Materials: \$1,600.00 Labor: \$1,500.00 ue to the unpredictability of the domestic	sting fencing (ornamental).  ly 30' of new fencing to match e	is quote for eight days. We a	apologize for the inconvenience.
• Furnish and install one in II. Take out and relocate 50' of exist Furnish and install approximate.  Materials: \$1,600.00 Labor: \$1,500.00  Pure to the unpredictability of the domestic.  VE PROPOSE hereby to furnish materials.	sting fencing (ornamental).  ly 30' of new fencing to match e	is quote for eight days. We a	pologize for the inconvenience.
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Furnish and install one in Furnish and install one in Furnish and install approximate.  II. Take out and relocate 50' of exists furnish and install approximate.  Materials: \$1,600.00  Labor: \$1,500.00  The PROPOSE hereby to furnish material is guaranteed to be as specified. All work to more according to standard practices. Any alteration or colving extra costs will be executed only upon written arge over and above the estimate. All agreements con anys beyond our control. Owner to carry fire, tornado, and the standard practices.	sting fencing (ornamental).  ly 30' of new fencing to match of the steel market, we can only honor the steel market, we can only honor the steel and labor — complete in accordance to be completed in a professional deviation from above specifications orders, and will become an extra litingent upon strikes, accidents or do other necessary insurance. Our	is quote for eight days. We annote with the above specification do	ipologize for the inconvenience.  is, for the sum of:  billars (\$
Furnish and install one in the state of	sting fencing (ornamental).  ly 30' of new fencing to match of steel market, we can only honor the steel market, we can only honor the steel and labor — complete in accordance of the steel and labor — complete in accordance of the steel market, we can only honor the steel market, accordance in accordance of the steel market, we can only honor the steel market, and labor — complete in accordance of the steel market, we can only honor the steel market, and steel market, we can only honor the steel market, we can only honor the steel market, we can only honor the steel market, and steel market, we can only honor the steel market, we can only honor the steel market, and steel market, we can only honor the steel market, and steel market, we can only honor the steel market, and ste	is quote for eight days. We annote with the above specification do	apologize for the inconvenience.  s, for the sum of: ollars (\$
Furnish and install one in the state of	sting fencing (ornamental).  ly 30' of new fencing to match of the steel market, we can only honor the steel market, are professional deviation from above specifications orders, and will become an extra tingent upon strikes, accidents or dother necessary insurance. Our more.  SSAL — The above prices, are hereby accepted. You are	is quote for eight days. We annote with the above specification do	apologize for the inconvenience.  Is, for the sum of:  Ollars (\$  days.
Furnish and install one in Furnish and install one in Furnish and install approximate.  II. Take out and relocate 50' of exists furnish and install approximate.  Materials: \$1,600.00  Labor: \$1,500.00  The PROPOSE hereby to furnish material is guaranteed to be as specified. All work to more according to standard practices. Any alteration or colving extra costs will be executed only upon written arge over and above the estimate. All agreements con any sheyond our control. Owner to carry fire, tornado, are treers are fully covered by Worker's Compensation insurance.  CCEPTANCE OF PROPOSE in France in the standard properties and conditions are satisfactory and conditions and conditions are satisfactory and controls.	sting fencing (ornamental).  ly 30' of new fencing to match of the steel market, we can only honor the steel market, and steel machine a professional deviation from above specifications orders, and will become an extra stingent upon strikes, accidents or ad other necessary insurance. Our note.  DSAL — The above prices, are hereby accepted. You are nade as outlined above.  Signature of the string formation of the string for	ed Note: This proposal may be win by us if not accepted within	apologize for the inconvenience.  Is, for the sum of:  Ollars (\$  days.

# **TA Woods Response**

John Sawyer, AIA President



124 Market Street Wilmington, NC 28401 910 762-0892 <u>s2a3.com</u>

From: Mark Ciarrocca < mciarrocca@cheathampa.com >

Sent: Friday, July 16, 2021 1:00 PM

To: john sawyer Architect < john@s2a3.com>

Subject: FW: Brunswick County Courthouse - ARP's 119, 123, 125, and 128

John,

Comments:

ARP 119:

		Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equip
1	COPE conduit, fittings, trenching	140	LF	\$2.39	<b>\$</b> 335.00	0.207	29.00	
3	boxes,covers, devices	1	Ea	\$27.00	\$27.00	2.000	2.00	

- 1. Conduit we see added was about 30' of 3'4" and 30' of 1" between the two gate control cabinets. Additional trenching should be less than 30'. Quantities and proposed costs appear high. we see 132' of 1" PVC between the gate controllers and from the new gate controller to the key pad, we have the stub ups that may not be accounted for
- Wire we see added was 2#12 in a 150' homerun and 3#12 in 40' connection between control cabinets. #12 proposed as \$0.30/ft MAT in ARP 116 and 0.01/ft LAB. Quantities and proposed costs appear high.

we priced #10 wire for the homerun due to the distance, additionally, with wire already installed we will have to pull out the green ground using that as a pull string and attach the hot, neutral and replacement ground, In addition we scale approx. 382 from gate controller to panel this will require 3 500' rolls of wire.

ARP 128:

To:

**Monteith Construction** 

Attn:

Matt Brittain

Re:

**Brunswick County Courthouse** 

. ...

Electrical

08-Jul-21

From:

**TA Woods Company** 

Addition & Renovation

Mechanical/Electrical Contractors

ECPR-40R1

**Vehicle Gate Revisions** 

Provide and install additional circuit for added gate operator. Provide and install PVC conduit from existing gate controller to new gate controller location, provide and install PVC conduit from new gate controller to key pad. Cutting, patching, repairing of asphalt, concrete, other surfaces by others. Gate pedestal provided and installed by others. Keypad, keypad wiring, provided and installed by others.

	TOTAL CHANGE (C+D)		\$4,632.00	
	BOND	\$	57.63	1.26%
	Subcontractors Total Change		\$0.00	
20	Profit		\$0.00	15%
19	Subcontractor Subtotal		\$0.00	
18			\$0.00	
17			\$0.00	
16				
15				Subcontractors
	T.A. Woods Total Change		\$4,5/4.16	Subcontractors
14				5%
13				
12			\$568.22	15%
11	Total Cost (A+B)		\$3,788.13	ANALYSI SERVER S
	Labor Cost Subtotal	\$	2,538.96	
10	Labor Taxes, Insurance and Fringe Benefits	\$	715.20	40%
9				(2% of labor)
8	*			
7		•		7.00
6	Journeyman / Mechanic	\$	1,550.00	50.00
				Man-Hours
	Direct Cost Subtotal	\$	1,249.17	
5	Sales Tax	\$	77.84	7.00%
4	Subtotal	\$	1,171.33	,
_			19.95	(.35 cents per man-hour)
2	Company Owned Equipment and/or Rental	\$	39.38	see attachment
	3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19	3 Expendables 4 Subtotal 5 Sales Tax Direct Cost Subtotal  6 Journeyman / Mechanic 7 Crew Foreman 8 Subtotal 9 Safety 1st - productivity burden 10 Labor Taxes, Insurance and Fringe Benefits Labor Cost Subtotal  11 Total Cost (A+B) 12 Field & Office General Administrative Cost 13 Subtotal 14 Profit T.A. Woods Total Change  15 16 17 18 19 Subcontractor Subtotal  Profit Subcontractors Total Change  BOND	3 Expendables \$ 4 Subtotal \$ 5 Direct Cost Subtotal \$ 5 Direct Cost Subtotal \$ 5 Direct Cost Subtotal \$ 6 Journeyman / Mechanic \$ 7 Crew Foreman \$ 8 Subtotal \$ 9 Safety 1st - productivity burden \$ 10 Labor Taxes, Insurance and Fringe Benefits \$  Labor Cost Subtotal \$ 11 Total Cost (A+B) 12 Field & Office General Administrative Cost 13 Subtotal Profit T.A. Woods Total Change  15 16 17 18 19 Subcontractor Subtotal Profit Subcontractors Total Change  BOND \$	Expendables   19.95

Due to fluctuations in commodity pricing and scheduling pricing only valid for 5 days Extension of time requested: **2 calendar** days.

7/8/2021

# 7/8/2021

# **Brunswick County Courthouse**

ECPR-40R1

Vehicle Gate Revisions

		Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equip
S	COPE				. 0101	O.I.I.	riours	
1	conduit,fittings, trenching	140	LF	\$2.39	\$335.00	0.207	29.00	
2	wire,terminations	1500	LF	\$0.50	\$750.00	0.013		
3	boxes,covers, devices	1	Ea	\$27.00	\$27.00			
ŭ	33,00,0010,0, 3011000	·	La	Ψ27.00	\$27.00	2.000	2.00	
4			LF	#DIV/0!		#DIV/0!		
5			LF	#DIV/0!		#DIV/0!		
6			LF	#DIV/0!		#DIV/0!		
7			Ea	#DIV/0!		#DIV/0!		
8 9			LF	#DIV/0!		#DIV/0!		
10								
Sı	ıb Totals				\$1,112.00		50.00	0.00
11 M	sc							
La	bels - Phenolic		Each		\$ -			
Su	ıb Totals				\$ -			
12 Di	rect Supervision (Crew Foreman)	(	) LS			7.14	7.00	\$39.38
	ust in Time Placement & Handling"							
Lo	ading & Unloading -	(	) lbs			0.030	0.00	
Lo	ading & Unloading - Roof	(	) lbs			0.040	0.00	
	aterials Handling - Lull	•	LS			0.040	0.00	
	b Totals						0.00	39.38
14 <b>Re</b>	entals		Weekly					
			\$75.00					\$0.00
	cavator		\$600.00					\$0.00
	id Steer		\$265.00					\$0.00
	mps		\$225.00					\$0.00
De	livery and P/U		\$200.00					\$0.00
Su	b Total							\$0.00
15 <u>To</u>	tals				\$1,112.00		50.00	\$39.38



# **WORK ORDER**

Date:

7/16/2021

Salesperson: JE

SHIP TO:

BILL TO:

Brunswick County Courthouse Change Order Monteith Construction Wilmington, NC

QTY	DESCRIPTION	PRICE	AMOUNT
	Scope of work to include:		
*	Saw cut asphalt and replace (approx. 120 ft2) Saw cut concrete curb and replace (approx. 16')		\$8,300.00
	Includes labor, material, and equipment for installation.		
	Originally plugged 9K while estimator was out with Covid.		
	Sharen outer e-crossessimo to research research to reconstruction and environment of the control		
•	ice of Proposal - The above prices, specifications and are satisfactory and are hereby accepted. You are authorized to	Total	\$8,300.00
	k as specified. Payment will be made as outlined above.		photographic process on the supplemental of th

Authorized Signature	Date	
•		

# **Allowance Reduction Proposal**



208 Princess Wilmington, NC 28401 P: 910-791-8101 monteithco.com

Date:	7.21.21
Project:	Brunswick County Courthouse Addition & Renovations
Owner Address:	310 Government Center Drive, NE
	Polivia North Carolina 20422

# ARP #: 116 R.1 - RFP 29

Proposal includes all labor, material, and equipment cost associated with RFP 29 Courtroom 5 Revisions.

Time Extension and General Conditions are required, but excluded from the proposal and will be submitted once a start date is provided. Scope is priced for normal working hours. Temporary zip walls are included in pricing, but full partitions are excluded based on start date.

Subcontractor		<u>Proposal Total</u>
Arrowood R.1		\$3,300.00
Paul Barbour & Son		\$1,271.00
CCF R.1		\$4,376.00
Duncan Paint		\$2,775.00
East Coast Access		\$10,522.35
Allied Fire Protection		\$6,163.00
Grey Interiors		\$9,186.53
Rivers Plumbing R.1		\$2,685.00
Standard Glass		\$7,324.24
TA Woods Mechanical R.1		\$23,160.28
TA Woods Electrical R.I		\$10,789.00
MCC R.1		\$1,626.06
N/A		\$0.00
	TOTAL SUBCONTRACTS	\$83,178.46
	5% GC FEE	\$4,158.92
	TOTAL CHANGE AMOUNT	\$87,337.38

# **Allowance Reduction Proposal**

	Sincerely,
	Matt Brittan
	Matt Brittan
Owner Acceptance	Monteith Acceptance

MONTEITH
CONSTRUCTION CORP.
RALEIGH | WILMINGTON



### CASEWORK/MILLWORK

# Brunswick County Courthouse - Bolivia, NC

Change Order for RFP29 – (Courtroom 5 Modifications Only)

Looking at RFP 29 vs the Original Architectural Drawings, there doesn't appear to be any added Linear footage of diewall, just the layout has changed. Changing the Layout has produced many additional mitered corner joints which is more difficult than a square corner. Pre-measure will be much more extensive, along with installation. Changing the Layout also means our engineer will have to re- engineer and draw out this entire area.

This pricing also includes Office 2131A Laminate Transaction Countertop Top.

# \*Finished Materials\*

- (1) Laminate Transaction Countertop
- Total: \$400.00

# \*Engineering\*

- \$60.00 Per Man hours
- 10 Hours
- Total: \$600.00

# \*Project Management\*

- Extra time on site laying out entire elevation on floor
- 1 Day \$300.00

# Installation

- 2 Additional installation days
- Total: \$2,000.00

Grand Total: \$3,300.00



### **Bettina Acosta**

From:

Matthew Brittan

Sent:

Monday, July 19, 2021 7:07 AM

To:

Bettina Acosta

Subject:

FW: Brunswick County Courthouse: Revising RFP 29, 32 & 33

Print to PDF and this will be the response to this portion to be included in our R1 submission.

Thanks,

**Matt Brittan Project Manager M:** 808.354.1757 **O:** 910.791.8101



From: Carl Hathcock <chathcock@arrowoodmfg.com>

Sent: Friday, July 16, 2021 4:01 PM

To: Bettina Acosta <bacosta@monteithco.com>; Daniel Hart <dhart@monteithco.com>; Matthew Brittan

<mbr/>brittan@monteithco.com>

Cc: jimyeatts@yahoo.com; jeudy arrowoodmfg.com <jeudy@arrowoodmfg.com>

Subject: RE: Brunswick County Courthouse: Revising RFP 29, 32 & 33

For Courtroom 5 Revisions - RFP29 - By changing the layout it has created additional mitered corners throughout. Which also means all the base and profile for the base has to be mitered as well, which takes additional time. Lining up all these miters, leveling and securing them is a difficult challenge and it takes a well paid, detail ordinated installer to complete and have look decent. I'm not taking any amount of money off of the RFP29 for installation, to be honest, I want to add more to it. This same explanation can be found at the top of the proposal I sent. Plus we have to scribe our countertop around a column.

For Courtroom 33 - Courtroom 6 Revisions - Adding in an extra 25LF of diewall and a gate takes time to install, and it adds extra trim to be installed as well. Again, I'm not taking off any monies to accommodate them.

I believe my pricing to be very fair, and I guarantee that the installation will take longer than what I have before and what I added.

I'm not trying to be a tyrant, but I can't do anything on this. If I had over priced it, I would come off of the price some, but I think its very fair.

thanks, I hope everyone has a great weekend.

On July 15, 2021 4:24 PM Bettina Acosta <bacosta@monteithco.com> wrote:

# **CHANGE ORDER**

# Paul Barbour & Son, Inc.

Acoustical Ceiling and Commercial Flooring Contractors
P.O. Box 1129
Fuquay-Varina, North Carolina 27526
Telephone (919) 552-0747
Telefax (919) 552-0646

Attn:

**Graham Smith** 

Date:

6/30/21

Project:

**Brunswick County Courthouse** 

Estimator:

Bryan Barbour

Location:

Bolivia, NC

Change Order -

#8

# **Work Description**

Price is to add grid work per RFP 29

Labor - \$ 620.00 Material - \$ 651.00

Note: This revision becomes part of, and in conformance with, the existing contract.

We Agree hereby to make changes as specified above, for a Price of: \$ Add \$ 1,271.00 Change Order Work outside the contract documents WILL NOT be Performed and Materials will not be procured until Written Notification is issued to Paul Barbour & Son, Inc.

Verbal request by a Contractor's employee in the field Does Not Constitute Approval of changes in the work to the Original Contract Documents.

Accepted: The above prices and specifications of this Change Order are satisfactory and are hereby accepted. All work to be performed under same terms and conditions as specified in the original Subcontract/PO and becomes part of the existing Subcontract/PO.

Company Name:	Company:	Paul Barbour & Son, Inc.
Ву:	By:	
Name:	Name: Brya	n Barbour
Title:	Title: Vice F	President
Date:	Date: 10/22	/2020

\*\*Execute and return authorized Change Order to Paul Barbour & Son,Inc. to initiate Change Order work to be performed. Change Order will remain pending until official written documentation is received by Paul Barbour & Son, Inc.

# **Bettina Acosta**

From:

Bryan Barbour <bryanb@pbarbourandson.com>

Sent:

Monday, July 12, 2021 10:02 AM

To:

Matthew Brittan

Cc:

Bettina Acosta

Subject:

Re: RFP 29 Pricing - Brunswick Courthouse

The area around 2073 and the 2058 corridor added grid that was supposed to be tile only.

On Wed, Jul 7, 2021 at 3:21 PM Matthew Brittan < mbrittan@monteithco.com > wrote:

Bryan – Which rooms created the add on ceiling tile. Were there any deducts? Owner will ask.

Thanks,

### **Matt Brittan**

# **Project Manager**

M: 808.354.1757

**O:** 910.791.8101



Bryan Barbour

Vice President/Safety Director Paul Barbour & Son, Inc.

p: 919-552-0747 m: 919-815-5372

919-552-0646

a: P.O Box 1129, Fuquay Varina, NC 27526 e: hryanb@pbarbourandson.com



2918 ORVILLE WRIGHT WAY • WILMINGTON, NC 28405 Phone (910) 343-3350 • Fax (910) 343-4131 www.ccfloorcovering.com

July 6, 2021

Monteith Construction 208 PRINCESS STREET Wilmington, NC 28401

Re: BRUNSWICK CO COURTHOSE

Bid # Q0004138 CO- 006

RFP#29

Dear : Matt

Thank you for the opportunity to submit the following proposal for the above referenced project.

# Scope of Work:

VCT	VINYL COMPOSITION TILE (VCT) in Corridor #2057 & #2061				
	675.00	SF	@	2.00	\$1,350.00
RB	RUBBER BASE (RB)		Ü		, ,
	240.00	LF	@	1.65	\$396.00
CPTL	CARPET TILE (CPT) color Miner	al	C		7
	#2031A, 2128, & enlarged 212	4			
	55.00	SY	@	36.00	\$1,980.00
Floor Prep	FLOOR PREP skim Coat Floor		Č		, ,
	1,000.00	SF	@	0.65	\$650.00
			Tot	al Price	\$4,376.00

# Notes:

No demolition of existing flooring included.

\* \* \*

I hope you find this proposal complete and to your satisfaction.

Sincerely, Chris Brock

### Revision Requests:

1) Remove Carpet in 2031A: +/- 150 SF (Deduct)

2) Add Carpet in Vestibule 2075: +/- 50 SF (Add)

3) Change Floor Finish in 2076 and 2074 to LVT: +/- 200 SF

# RE: Brunswick Courthouse - Revised Pricing



← Reply ← Reply All → Forward ・・・

Tue 7/20/2021 5:46 PM

Sorry for the delay My father is at Duke Hospital in the ICU and I have been occupied as well as a bit overwhelmed the last few days. I will get that CO as soon as I can thank you for your understanding and Patience

Chris Brock Carolina Commercial Floorcovering 910-343-3350

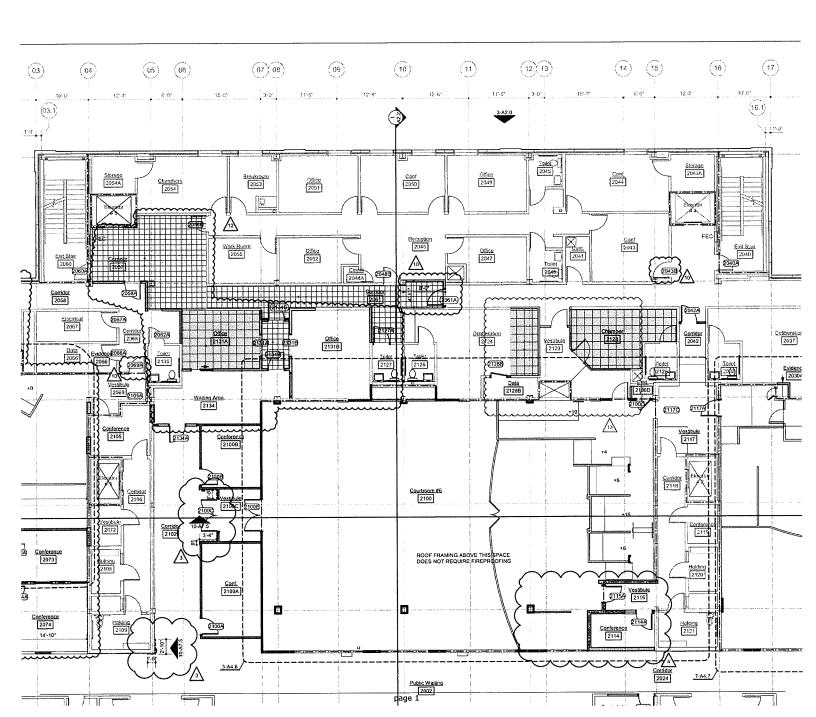
# **CC Floorcovering**

**Untitled** 

06 July 2021: RFP N#29 adds and Ordering

Current screen

Scale 1:210 (original drawing scale 1:96)



# -Proposal— Duncan's Paint and Wallpaper, Inc. 5946 Red Hill Rd. • Whiteville North Carolina 28472 Phone: (910) 642-7442 • Cell: (910) 840-9936 • Fax: (910) 642-0117 MATT Brittan Monteith Brusuick Lossthouse CITY, STATE, AND ZIP CODE ARCHITECT DATE OF PLANS We hereby submit specifications and estimates for: 4 HOORS PaiNT 11 HMF 2058 A 6 New doors Total - See East 2070 B **Coast Proposal** 20706 All Labor + Materials - 1,850 \$462.5 Each 6 Total New, Not 4: \$2,775 we *Propose* hereby to furnish material and labor — complete in accordance with above specifications, for the sum of: dollars (\$ 1, 850 Payment to be made as follows: All material is guaranteed to be as specified. All work to be completed in a workmanlike Authorized manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an charge over and above the estimate. All agreements contingent upon strikes, accidents, or Signature ( delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Signature,

Signature\_

**Acceptance of Insposal**—the above prices, specifications and conditon are satisfactory and are hereby accepted. You are authorized to do the work as

specified. Payment will be made as outlined above.

Date of Acceptance: \_



# CHANGE ORDER PROPOSAL

June 24, 2021

**Monteith Construction** 

Attn: Matt Brittan

**Project:** Brunswick County Courthouse

Proposal #: J1330 - RFP 29

Proposal:

2058A

# **RFP 29**

- Door 2058A Providing new wood door (flush) and hollow metal frame. (Confirm standard three sided frame and jamb depth required. Hardware set 29 already provided in original scope.
- Door 2062A Providing new woo door (flush). Adding mop plate and coat hook. Remainder of hardware to be reused. HW Set 38 to 40
- Door 2070A- Providing new office function locksets. Cylinder in original lockset provided to be reused. HW Set 8 to 40
- Door 2070B Providing new wood door (flush). Original frame we provided prepped for hardware on set 19 and all hardware already onsite.
- Door 2070C Providing new wood door (flush). Original frame is prepped to work with hardware set 19. Adding one standard hinge to replace the electric hinge, along with new classroom function lockset and closer. Cylinder in original lockset provided to be reused.
- Door 2073A No changes. All material to be salvaged and re-used. Grey
- Door 2074A Provide new wood door (flush). Same as door provided originally at 2073A but flush.
- Door 2075A Providing new wood door (flush) and hollow metal frame. (Confirm standard three sided frame and jamb depth required. Providing new hardware set 32.
- Door 2134B No changes. All material to be salvaged and re-used Grey
- Door 2131A We provided as hardware set 36 in original scope. Providing new office function lockset and new cylinder as called for in set 38. (Advise how the cylinder is to be keyed).
- Door 2131B We provided as hardware set 36 in original scope. Providing new office function lockset and new cylinder as called for in set 38. (Advise how the cylinder is to be keyed).

Please note that due to the current lead-time of wood doors (17-18 weeks) we have quoted all wood doors as unfinished to be stained in the field. This will allow us to purchase from a quick ship manufacturer. The lead time will be 3-4 weeks.

6 Doors Each - Pricing to stain by Duncan

Total add of \$9,857PLUS TAX

AE confirm

(Grand Total: \$10,522.35 including 6.75% Sales Tax)

Prepared by: April Little	
**If accepted, please sign below and return immediatel within 15 days. Failure to provide formal change order i	
Approved by:	Date:

# **CHANGE PROPOSAL FORM**

Project:	Brunswick County Courtho	use	AFP Proposal #		
Contract:			Date	e:6/28/2	021
Contractor:	Allied Fire Protection, In-	C.	AFP Job #	#:240-C	-20
Description of cha	nge: RFP 29 Changes				
-					
Scope: Remove ex	sting drops and replace with ne	w heads o	n flex connections: R	ms 2058, 2063, 2064, 2	2074,
2075, 2076, 2073, 2	056, 2057, 2061, 2135, 2131A	, 2131B, 21	31, 2134 (26 heads)		
Add new head on m	echanical tee in areas where n	o existing o	utlet is available: Rm	ns 2063, 2073, 2134,20	70
Lindata CAD backa	ounds, Current As-Builts, Shop	drawings	and new permit draw	inge	
opuate CAD backgi	ourius, Current As-Dunis, Oriop	diawings (	and new permit draw	1190	
EXCLUSIONS: Adj	ustments to existing lines or	main pipin	g.		
No line or main alt	erations appear necessary ur	iless curre	nt As-builts are not	accurate	
Materials (Attach	list with Qty, Item, Unit \$, Unit	mh, Total m	nh, OT mh, Total \$)		SUBTOTALS
1. To	tal Direct Cost of Materials			\$939.88	
2. Ov	verhead & Profit on Item 1.	10.000%		\$93.99	
(1:	5% maximum, includes small to	ols & const	umables)		Egglis Principal Principal
3. Sa	lles Tax	7.250%			
	ipping & Transportation				
5. Co	ore Drill			\$0.00	\$1,033.87
Labor					
	*	<u>6</u> MH @	<b>\$37.31</b> /hr.	\$223.86	
		<u>)</u> MH @	\$44.00 /hr.	\$880.00	
		6 MH @	\$57.30 /hr.	\$916.80	
		MH @	\$38.19 /hr.	\$763.80	
	•	MH @	<b>\$31.21</b> _/hr.	\$624.20	
	verhead & Profit on Item 5.	10.000%	omium portion)	\$318.48	
•	5% maximum on straight labor		emium portion)		
•	& P includes supervisor's time lyroll Taxes & Insurance	<i>)</i> 39%	(Max 39%)	\$1,242.07	
	as (Foreman) Expense (\$80.00		(11102 00 70)	\$160.00	
	aily Expense \$15.00 Per Day pe				\$5,129.21
Equipment Rental	(Include quotes)				
• •	juipment Rental (1x 26' for Den	าด			
	verhead & Profit on Item 8.	6.000%		\$0.00	\$0.00
(6	% maximum)		•		
•	(Include quotes with material &	equipment	backup)		
10. St	bcontractors			\$0.00	
11. O	erhead & Profit on Item 10.	6.000%		\$0.00	\$0.00
(6	% maximum)				
				Subtotal of Proposal	\$6,163.08
12. Bo	onds (% of subtotal of proposal)	0.000%	_		\$0.00
			TOTAL OF	CHANGE PROPOSAL	\$6,163.00
Time	Extension Request: 0 day(s	). Schedule	e Activity # Affected:		e de Estato de Galden de combinación de Calvella de Combinación de Parison de Calvella d
	es to perform the work outlined			amount specified abov	e and in
accordance with the	Contract documents if the wor	k is authori	zed by the Owner.		
Contractor's Signa	iture: <u>Michael G</u>	iodsey		Date:	6/28/2021
		-		<b>n</b> .	
Approval Recomm	ended by Design Consultant			Date:	
Owner's Represen	tative Approval:			Date	

MATERIAL BREAKDOWN	UNIT PRICE	QUANTITY	EXT. COST
Victaulic V2708 Recessed Pendents	\$5.75	26	\$149.50
Victaulic AH-1 Flex	\$26.50	26	\$689.00
1" SCH 40 Pipe	\$3.28	21	\$68.88
1-1/2x1 mech tee	\$6.50	5	\$32.50
			\$0.00
			\$0.00
			\$0.00
,			\$0.00
			\$0.00
			\$0.00
			\$0.00

**Material Total** 

\$939.88

# Hi Bettina

That is correct. A majority of that area was "existing to remain" as far as sprinkler heads go. So especially with the walls moving in Work Room 3046, Judges Assist., and Break room area, etc, those existing heads will all be incorrectly spaced and will need to be replaced. The proposal is for using the existing outlets, removing the current drops and replacing them in new ceiling locations with flex connectors much like we have done throughout the building. Anywhere that an existing outlet is not available will require a mechanical tee be cut into the line.

No line adjustments (as far as moving or changes in elevations) are included.

Hopefully that answers your questions

Thanks

# Michael Godsey Estimator/Designer

Allied Fire Protection Inc. Office (919) 772-9200

Email: MGodsey@alliedfire.net

# RP&E

147 Aberdeen Drive Florence, SC 29501 O: (843) 413-9565 F: (843) 968-8206 Licenses NC #U33501 NC #34655 & SC #M2508



MechanicalElectricalPlumbing

7-8-2021

Attention: Matthew Britton Subject: BCCH RFP 29

This letter is to provide a *Plumbing* for the above subject project. This pricing is in accordance with the documents, clarifications and/or exclusions below:

Quote based on Prints PD1.2, PD1.1, P1.2, and P1.1 Dated 9-23-2019

The following items are *clarifications* to the above referenced review:

- 1. Sales tax is included
- 2. Demo Existing Vent piping as indicated on print on PD1.1
- 3. reconnect piping as noted on P1.1
- 4. Demo was part of Work for RFP 32 of Print PD1.2
- 5. Modify and install vent piping changes as shown on print P1.2
- 6. Insulate as required

Confirmed Note 4 included in RFP 32 Scope

Exclude

Plumbing bid for the above-mentioned work: \$ 2685.00

Rivers is pleased to provide a price for the above referenced project. This scope has been prearranged for your use in compiling a comprehensive general contract proposal and to assist in organizing the various prices from other subcontractors. If there are clarifications and/or modifications to the scope, for any portion of this proposal do not hesitate to contact:

Danny Howell at 843-413-9565 ext. 9105 Cell: 843-601-9384 or email danny.howell@rpecontracting.com

Respectfully,

Danny Howell Project Manager

Danny Howell

Chris Chance at 843-992-8673 ext. 9501 or email chris.chance@rpecontracting.com

Respectfully,

# RP&E

147 Aberdeen Drive Florence, SC 29501 O: (843) 413-9565 F: (843) 968-8206



Mechanical
Electrical
Plumbing

Chris Chance

Assistance Project Manager & Service Coordinator

### PROPOSAL REQUEST FORM **RIVERS** 005 Rivers CO No: Project: Renovation 7/7/2021 Contract: Date: Brunswick County Monteith Construction Owner: Contractor: 0 0 0 Description of Work: Subtotals Materials 1. Total materials \$200.00 2. Overhead & profit \$32.10 3. Sales tax \$14.00 4. Shipping and transportation \$246.10 Labor 5. Total man-hours 32 6. Labor and direct cost \$1,333.72 7. Burden (Payroll taxes, insurance, etc...) \$416.00 8. Overhead and profit \$262.46 \$2,012.18 Equipment / Tools / Rental Equipment rental \$0.00 10. Sales tax \$0.00 11. Overhead and profit \$0.00 \$0.00 Subcontractors 12. Subcontractors \$0.00 13. Overhead & profit \$0.00 \$0.00 Subtotal of Proposal \$2,258.28 14. Bonds (1.2% of subtotal of proposal) \$27.10 **Total of Proposal Request** \$2,285.38 All change orders are subject to attached Rivers change order terms Contractor's Signature: Danny Hawell Date: 7/8/2021 Owner's Signature: Date:

# Correct - Large CO Log.xls

# PROPOSAL REQUEST BREAKDOWN FORM

Description: Project:

Rivers CO No:

Date:

<u>CO-</u>

7/8/2021

005

Labor Rate: Burden:

Sales Tax:

\$32.50

Rivers

40.00% 7,00%

Unit

Unit

32

Subcontract OH+P:

Tools/Equipment/Rental

Subcontractor

5% Overhead:

10% 5%

Price

Price

Extended \$0.00 \$0.00 \$0.00 \$0.00 \$0.00 \$0.00

Extended

Profit: Total O&P:

15%

Labor	Reg	O/T
Worksheet Labor	-	
Demo	16	
Install piping	8	
Install insulation	8	
		1000
이 기계되는 수하지 않았다.		
		1246
		4 1 9 4 1

Unit	Material	Price	Extended
0	Worksheet Material	\$0.00	\$0.00
1.	Pipe, couplings,& fitting	\$135.00	\$135.00
1	Insulation	\$65.00	\$65.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00

Labor Total Labor Hours-Regular

Total Labor Hours-Overtime

	\$0.00
	\$0.00
	\$0.00
	\$0.00
	\$0.00
	\$0.00
	\$0.00
Material Cost	\$200.00
Equipment Rental	\$0.00
Direct Cost	\$293.72
Labor Cost with Burden	\$1,674.40
Subcontractors	\$0.00

Direct Cost	
Truck	\$70.00
Fuel	\$15.00
Travel - Labor	\$0.00
Safety	\$62.40
Foreman - Labor	\$117.21
Tool Expense	\$25.12
Waste Management	\$0.00
Disposables	\$0.00
Fasteners	\$4.00

.00
.40
4.40
14

P:\#8 WIL (50)\2020\50-20-0115 Brunswick County Courthouse Additions and Renovations\10 Change Orders\Change Orders - Log\
Broakdown 005



801 South 16th Street Wilmington, NC 28401 Office: (910) 762-3355 www.standardglass.com (http://www.standardglass.com/)

**COR Subject: RFP 29** 

# Change Order Request

**PROJECT** — Brunswick County Courthouse

COR Number: 4

**Matt Brittan COR Revision Number: 0 Monteith Construction Corporation** 

COR Date: 7/12/2021 Price / Do Not Work Type: Proceed

Days Valid: 15

(910) 791 8101

208 Princess Street

Wilmington, NC 28401

**Return To** 

To

**Phillip Conradie** Standard Glass 801 S 16th Street Wilmington, NC 28401

(910) 762-3355 (910) 616-7764

phillip@standardglass.com

# Scope Of Work / Time Extension Request

Provide and Install new DW1800A Sliding Transaction window in Waiting Room 2134 to match rest of installed

Provide & Install Qty. 1 One Way Mirror Window & Glass at Courtroom #5

### **Details**

Description	Туре	Cost / Rate		Workers	Ext
Labor Slider	Labor	\$71.40	5.00 <i>Hrs</i>	4.00	\$1428.00
Labor One Way Mirror Window	Labor	\$71.40	4.00 <i>Hrs</i>	4.00	\$1142.40
DW1800A Slider	Material	\$2,996.00	1.00 EACH	-	\$2996.00
One Way Mirror Window	Material	\$802.50	1.00 <i>EACH</i>	-	\$802.50

Breakout

Labor: \$2,570.40

Overhead Percent @ 15%: \$385.56

> Material: \$3,798.50

Overhead Percent @ 15%: \$569.78 Signed By:

Phillip Conradie

Manager

Dated: 7/12/2021

To:

**Monteith Construction** 

Attn:

Matthew Brittan

Re:

From:

**Brunswick Courthouse** 

Addition & Renovation

TA Woods Company

Mechanical / Electrical Contractors

MCPR-19

RFP 29 Drawing Revision # 12

Detailed below find cost associated with material, labor and equipment to perform scope of work on 2nd floor per recent revision # 12 titled RFP 29. Due to constant fluctuations in material pricing and availability we have a 10 working day limit on proposals.

28-Jun-21

MECHANICAL

		 0.010.00	
1 1	Materials	\$ 2,812.00	
2	Company Owned Equipment and/or Rental	\$ 450.00	Company Vehicles
1 3	3 Expendables	\$ 119.35	(.35 cents per man-hour)
4	Subtotal	\$ 3,381.35	
(	Sales Tax	\$ 196.84	7.00%
	Direct Cost Subtotal	\$ 3,578.19	
			Man-Hours
	3 Journeyman / Mechanic	\$ 6,412.00	229.00
	Shop Fabrication	\$ 688.00	32.00
1			

6	Journeyman / Mechanic	\$ 6,412.00	229.00	
	Shop Fabrication	\$ 688.00	32.00	
7	Crew Foreman	\$ 2,720.00	80.00	
8	Subtotal	\$ 9,820.00		
9	Safety 1st - productivity burden	\$ 196.40	(2% of labor)	
10	Labor Taxes, Insurance and Fringe Benefits	\$ 3,928.00	40%	
	Labor Cost Subtotal	\$ 13.944.40		

C.	, 4	T.A. Woods Total Change	\$20,238.59	270	
	14	Profit	\$963.74	5%	- 1
	13	Subtotal	\$19,274.85		- [
	12	Field & Office General Administrative Cost	\$1,752.26	10%	-
	11	Total Cost (A+B)	\$17,522.59		ļ

				Subcontractors
Γ	15		\$2,290.00	Insulation
	16		\$0.00	Controls
	17		\$0.00	Test & Balance
	18		\$0.00	Gardner Concrete Cutting
	19	Subcontractor Subtotal	\$2,290.00	
	20	Profit	\$343.50	15%
D.		Subcontractors Total Change	\$2,633.50	

E.	BOND	\$ 288.19	1.26%

F.	TOTAL CHANGE (C+D)	\$23,160.28

Due to fluctuations in commodity pricing and scheduling pricing only valid for 10 days Extension of time requested: 21 calendar days.

	6/28/2021
Casey Matthews Project Manager	n Date

# **Brunswick County Courthouse - Additions & Renovations**

MCPR-19

RFP 29 Drawing Revision # 12

1 2	COPE			Unit Price	Material Total	Labor Unit	Labor Hours	Equip
-	JUPE						710010	
2	Fabrication Duct	430	lbs.	\$1.87	\$806.00	0.074	32.00	
2	Oval Duct Fittings	2	Ea.	\$550.00	\$1,100.00	8.000	16.00	
3	Installation Ductwork & Branch	430	lbs.	\$0.06	\$26.00	0.302	130.00	
4	Fire Damper & Sleeve, Access Door	1	Ea.	\$265.00	\$265.00	5.000	5.00	
5	Differs & Grilles	4	Ea.	\$135.00	\$540.00	3.000	12.00	
6	Demolition 2nd & 3rd Floors	1	Ea.	\$75.00	\$75.00	48.000	48.00	
7 8								
9								
0								
Sı	ıb Totals				\$2,812.00		243.00	0.0
	ıb Totals				\$ -			
2 <u>Di</u>	rect Supervision (Crew Foreman)		1 LS		7 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -	81.00	80.00	\$450.00
2 11 1	und in Time Planemant 9 Handlitanii							
	ust in Time Placement & Handling" ading & Unloading -	RS	5 lbs.			0.030	18.00	
	during a criticaling	00.	o iba.			0.030	10.00	
Ιn	ading & Unloading - Roof	4	O Ibs.			0.040	0.00	
	aterials Handling - Lull	·	LS.			0.040	0.00	
	b Totals						18.00	450.00
	. •						***************************************	
	entals		Daily					
	elder & Gases cavator		0 \$75.00 0 \$300.00					\$0.00
	id Steer		\$265.00					\$0.00 \$0.00
Sk	pe Butt Fusion Machine		\$200.00					\$0.00
			\$130.00					\$0.00
Pip	e Socket Fusion Machine							
Pip Pip	be Socket Fusion Machine							\$0.00

6/28/2021

# T.A. Woods MATERIAL, EQUIPMENT AND LABOR SUMMARY Bid 457

Page: 4 5:12 pm 7/19/19 SN 104

BRUNSWICK COURTHOUSE

Alternate: 2 (Add.) System Symbol: RFP 29

	Material		Fa	bri	leation		read pyths bhor sthis began t	- F	ield	
Category	Cost		Hours		Cost		Hours		Cost	****
Rnd/Ov Pipe & Fit	1, 191	7	TANK SHOOM SHEET COMMON AND A SHOOM SHOWN		10 Mars 1940 1940 1940 1940 1940 1940 1940 1940	int	45	T	1 555	 T
Housings & Plenums	, (2)	T	Again (A)-1		1011		23	7	Ø	T
Duct Accessories	265	T			18 cm		5	T	138	T
Air Distribution	540	T			(41) mm		5	T	147	***
Insulation	121	T	terra en é		***		12	T	Ø	T
System Equipment	121	T			\$.000 DOM:		Ø	T	②	-1-
Other Purchased	80	T	1700gg av A		LANK VICES		9	1	250	T
PURCHASED SUBTOTALS:	\$2,076						64		\$1,800	
Fabricated Items	736	Т	31	Т	658	Т	153	7	4,278	T
Supervision	121	T	(2)	7	Ø	T	IZ1	T	121	T
Drawings (Detailing)	121	T	2	T	34	T	Ø	T	Ø	T
Material Handling	(2)	T	121	7	(2)	T	1.1	T	319	T
Removal	121	7	121	T	Ø	T	Ø	7	121	T
Testing	121	T	ıZı	T	Ø	T	4	T	16	T
	the rest to the same of the same than the same				anny paris are week their part was been alled		Table sheet their super their states		taken proof to be value to the value or the value of the control or the value of the control or	
TOTALS:	\$2,812		32		\$692		229		\$6,414	
(less Service)										
Service	ť.)	Т			1971 1719		Z	Т	i Zi	Т
	cates their process server bears there server bears		America despite amendo colonido industrios constantes anno con		prace noted topol topol Amen people plans drage break within the second print, being appear prints to the second prints appear are the second points are t		ment oran agreed right bilger direct		Arms have water hims cold have being state	
TOTALS:	\$2,812		32		\$692		229		\$6,414	
(Fabrication, Purch	nased Mate	rial	s, Equi	pm e	ent, Labor.	, s	ervice)			

From: Casey Matthews

Sent: Friday, July 16, 2021 7:09:48 AM

To: Matthew Brittan < mbrittan@monteithco.com >

WAGE RATES:

Cc: Bettina Acosta <br/>
bacosta@monteithco.com>; Daniel Hart <dhart@monteithco.com>

Subject: RE: ARP 116 Courtroom #5 Revisions mechanical labor

Matt,

All is justified in our breakdown.

We compared the original drawings to the revised, performed a take off and ran the report.

Everyone thinks that this work takes no time to do but it does and that's why we use an estimating system and not our feelings or what we think.

Keep in mind that that pricing was good for 10days.

If materials prices change that price will be voided and a new change order will be provided.

Respectfully, Casey Matthews Project Manager



To:

**Monteith Construction** 

Matt Brittain

Attn:

**Brunswick County Courthouse** 

Addition & Renovation

Electrical

19-Jul-21

From:

TA Woods Company

Mechanical/Electrical Contractors

ECPR-41

**Courtroom Revisions** 

Provide and install electrical work as noted on courtroom revision drawings E0.1, E1.4, E1.5, E1.6, ED1.4, ED1.6 dated 6-18-2021. Fixture type B4 indicated in office 2131B is being priced as fixtue type B3. Fixture type B4 is not an existing fixture type for this project. Lead time on fixtures is 4-5 weeks.

F.		TOTAL CHANGE (C+D)		\$10,789.00			
<b>E.</b> [		BOND	\$	134.26		1.2	26%
D.		Subcontractors Total Change		\$0.00			
	20	Profit		\$0.00		15%	
-	19	Subcontractor Subtotal		\$0.00			
	18			\$0.00			
	17			\$0.00			
	16						
Γ	15				Sı	ubcontractors	
<b>U</b> .		T.A. Woods Total Change		\$10,655.18			
c.	14	Profit		\$507.39		5%	
ļ	13 14	Subtotal		\$10,147.79		<b>50</b> /	
	12	Field & Office General Administrative Cost		\$1,323.62		15%	
Γ	11	Total Cost (A+B)		\$8,824.17		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
В.		Labor Cost Subtotal	\$	5,192.23			
	10	Labor Taxes, Insurance and Fringe Benefits	\$	1,462.60		40%	
ĺ	9	Safety 1st - productivity burden		73.13		(2% of labor)	
	8	Subtotal	-	3,656.50			
ĺ	7	Crew Foreman	•	510.00		15.00	
	6	Journeyman / Mechanic		3,146.50		101.50	
						Man-Hours	
A.	~~~	Direct Cost Subtotal	\$	3,631.94			
	5	Sales Tax		229.42		7.00%	
	4	Subtotal		3,402.52	1.55 0	ents per man-nour)	
ļ	3	Expendables	Ф \$	40.78	-	ee attachment ents per man-hour)	
	1 2	Materials Company Owned Equipment and/or Rental	\$ \$	3,277.37 84.38			

Due to fluctuations in commodity pricing and scheduling pricing only valid for 5 days Extension of time requested:  $\underline{\textbf{6 work}}$  days.

7/19/2021
Pete Browne, Electrical Project Manager Date

# 7/19/2021

# **Brunswick County Courthouse**

ECPR-41

**Courtroom Revisions** 

		Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equip
S	COPE							
1	Additional Light Fixtures	1	LS	\$1,430.37	\$1,430.37	12.000	12.00	
2	1" EMT conduit/fittings	70	LF	\$2.40	\$168.00	0.150	10.50	
3	Boxes,covers,supports	34	Ea	\$13.12	\$446.00	0.647	22.00	
4	1/2" flex, fittings	18	LF	\$1.61	\$29.00	0.167	3.00	
5	12/2MC, 12/3 MC/12/2MC w/ LED	770	LF	\$1.45	\$1,119.00	0.045	35.00	
6	Devices,covers	16	Ε	\$3.50	\$56.00	0.375		
7	#12 THHN	96	LF	\$0.30	\$29.00	0.010		
8 9	Demo	1	LS	\$0.00		12.000	12.00	
0								
S	ıb Totals				\$3,277.37		101.50	0.00
S								
			0 LS			14.50	15.00	\$84.38
	rect Supervision (Crew Foreman)		0 LS			14.50	15.00	\$84.38
2 D	rect Supervision (Crew Foreman) ust in Time Placement & Handling"		Halla-wa					\$84.38
2 D	rect Supervision (Crew Foreman)		0 LS 0 lbs			<b>14.50</b> 0.030		\$84.38
2 <u>Di</u> 3 ".	rect Supervision (Crew Foreman)  ust in Time Placement & Handling"  pading & Unloading -		0 lbs			0.030	0.00	
2 <u>Di</u> 3 ". Lo	rect Supervision (Crew Foreman)  ust in Time Placement & Handling" pading & Unloading -		0 lbs				0.00	
2 <u>Di</u> 3 ". Lo <u>M</u>	rect Supervision (Crew Foreman)  ust in Time Placement & Handling"  pading & Unloading -		0 lbs			0.030	0.00	
2 Di 3 ", Lo	rect Supervision (Crew Foreman)  ust in Time Placement & Handling"  pading & Unloading -  pading & Unloading - Roof  aterials Handling - Lull		0 lbs 0 lbs LS			0.030	0.00 0.00 0.00	
2 Di 3 ", Lo	rect Supervision (Crew Foreman)  ust in Time Placement & Handling"  pading & Unloading -  pading & Unloading - Roof  aterials Handling - Lull  ub Totals		0 lbs			0.030	0.00 0.00 0.00	
2 Di 3 ".7 Lc   Lc   M   Sc   4 R	rect Supervision (Crew Foreman)  ust in Time Placement & Handling"  pading & Unloading -  pading & Unloading - Roof  aterials Handling - Lull  ub Totals		0 lbs 0 lbs LS Weekly			0.030	0.00 0.00 0.00	84.38
2 Di 3 ", Lo Lo M Si 4 R Ex	rect Supervision (Crew Foreman)  ust in Time Placement & Handling" pading & Unloading - pading & Unloading - Roof paterials Handling - Lull pub Totals		0 lbs 0 lbs LS <b>Weekly</b> \$75.00 \$600.00 \$265.00			0.030	0.00 0.00 0.00	\$0.00 \$0.00 \$0.00 \$0.00
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# **Bettina Acosta**

From:

Joe Smith <jsmith@tawoods.com>

Sent: To: Monday, July 19, 2021 12:58 PM Matthew Brittan

Cc:

Bettina Acosta; Daniel Hart

Subject:

RE: Brunswick County Courthouse -RFP 29 Pricing

Attachments:

ECPR-41R1 Courtroom Changes Second Floor.pdf

see below

Respectfully, Joseph Smith Vice President



Mechanical | Plumbing | Electrical 6713 Netherlands Drive Wilmington, NC 28405 Phone: 910.452.7900 ext.120

www.tawoods.com



From: Matthew Brittan < mbrittan@monteithco.com >

**Sent:** Friday, July 16, 2021 1:31 PM **To:** Joe Smith <jsmith@tawoods.com>

Cc: Bettina Acosta <bacosta@monteithco.com>; Daniel Hart <dhart@monteithco.com>

Subject: FW: Brunswick County Courthouse -RFP 29 Pricing

Joe - RFP 29 comments below. Thanks.

**Matt Brittan Project Manager M:** 808.354.1757 **O:** 910.791.8101



From: Jenny Williams < jenny@s2a3.com > Sent: Friday, July 16, 2021 1:03 PM

**To:** Matthew Brittan < <a href="mbrittan@monteithco.com">mbrittan@monteithco.com</a> <a href="mbrittan@monteithco.com">Cc: john sawyer Architect < john@s2a3.com</a>

Subject: FW: Brunswick County Courthouse - ARP 116 Courtroom #5 Revisions electrical

### Matt,

See electrical comments below for ARP #116 Courtroom #5 Revisions.

### Thanks,

Jenny Williams, AIA



910.762.0892 \$2a3.com

From: Mark Ciarrocca < mciarrocca@cheathampa.com >

Sent: Friday, July 16, 2021 12:39 PM
To: Jenny Williams <jenny@s2a3.com>

Cc: Ken Lynch <klynch@cheathampa.com>; Casey Gilman <cgilman@cheathampa.com>; Kay Lynch

<office@cheathampa.com>; john sawyer Architect < john@s2a3.com>

Subject: FW: Brunswick County Courthouse - ARP 116 Courtroom #5 Revisions

Jenny,

# Comments:

6	COPE	Quant		Unit Price	Mat∈ Tota
1	Additional Light Fixtures	•	LS	\$1,430.37	4
2	1" EMT conduit/fittings	70	LF	\$3.27	
3	Boxes,covers,supports	34	Ēa	\$13.12	
4	1/2" flex, fittings	18	LF	\$1.61	
5	12/2MC, 12/3 MC/12/2MC w/ LED	770	LF	\$1.45	4
6	Devices, covers	16	E	\$3.50	

<sup>1.</sup> Proposed costs appear to be reasonable.

I will review the 1" conduit

<sup>2.</sup> Proposed costs vary from what was submitted for ARP 117. Material \$3.27 vs \$2.38 and labor unit 0.171 vs 0.144. I'm not sure why these would be different. And we had comments on ARP 117 where we thought those were high.

- 3. Appears reasonable.
- 4. Proposed flex (empty) Material is higher than MC cable (flex w/ conductors). Seems odd.

½" greenfield flex \$1.10 ft, ½" str conn \$2 each 18' plus 6 conn is actually more than the \$29 listed

5. The MC cable description is a bit odd with multiple types indicated? \$1.45/ft is significantly higher than \$1.00/ft proposed on ARP 117 for 12/2 MC. Labor is less than previously proposed.

the MC is 12/2 MC cable, 12/3 MC cable 12/2 MC cable with LV dimming cables 12/2 MC \$.70 ft, 12/3 MC \$1.30 ft, 12/2 MC with LV dim \$1.65 ft, plus straps, screws, supports, conn, wire nuts

- 6. Appears reasonable.
- 7. Appears reasonable.
- 8. Appears reasonable.

# Regards,

Mark A. Ciarrocca, P.E.

Cheatham & Associates, PA | Consulting Engineers

3412 Enterprise Drive, Wilmington, NC 28405

mciarrocca@cheathampa.com 
Phone: 910-452-4210 
Mobile: 910-620-0099

From: Jenny Williams < jenny@s2a3.com > Sent: Wednesday, July 14, 2021 2:25 PM

To: Kay Lynch < office@cheathampa.com >; Ken Lynch < klynch@cheathampa.com >; Casey Gilman

<cgilman@cheathampa.com>; Mark Ciarrocca <mciarrocca@cheathampa.com>

Cc: john sawyer Architect < john@s2a3.com>

Subject: Brunswick County Courthouse - ARP 116 Courtroom #5 Revisions

Good afternoon,

Here's another ARP for Brunswick County Courthouse. This one is for RFP #29 Courtroom #5 Revisions. Please review the fire protection, plumbing, mechanical, and electrical cost proposals and let us know if you have any comments.

Thanks,

Jenny Williams, AIA



Wilmington, NC 28401 910.762.0892 52a3.com

# SubContractor's Change Order Proposal Cover (Sheet "A") Brunswick Courthouse Addition & Renovation (Form used for 1st, 2nd, 3rd tier subs) Monteith Construction Detailed Scope Of Work: Proposal includes material, labor and equipment cost associated with concrete patches due to plumbing demolition and temporary plastic barriers maintenance for continued cleanliness in occupied spaces. Price excludes full temporary walls pending the start of RFP 29 scope. C.O.R. Total\* \$ 1,626.06 | Co.O.R. Total\* | Sunswick Courthouse | Date: 7.20.21

Sı	ubContractor Summary - (Sheet "B")			
	y of SubContractor's Self Performed			
(1.) (= line e. from Sheet "C").	Total Materia	1* \$	602.06	
(2.) (=Line e. from Sheet "D").	Total Labo	r*  \$	1,024.00	
(3.) <u>(= line e. from Sheet "E").</u>	Total Equipmen	t*  \$		
(4.) ( =lines 1 + 2 + 3)	Self Performed Work*	\$	1,626.06	
Summ	any of other Ouetad Work (asharatra	-4-1		
Summ	ary of other Quoted Work (subcontra	cts)		
(5.) Quote - Subcontractor #1	Quote #1 Total* (without OH&P)	\$		:
(6.) Quote - Subcontractor #2	Quote #2 Total* (without OH&P)	\$	-	
(7.) Quote - Subcontractor #3	Quote #3 Total* (without OH&P)	\$		
(8.) (lines 5 + 6 + 7)	Quoted (subcontract) Work*	\$	-	
(9.) (on line 8)	8% max) 20 % OH&P	\$	-	
(10.) (lines 8 + 9)	Total - Quoted (subcontract) Work*	\$	•	
(11.) (lines 4 + 10)	Total - Self Performed & Quoted (subcontract) Work* (less bond, ins, &	\$	1,626.06	
(12.) (on line 11.) (if	applicable) 0.00% Bond*	\$		
	11 200 200 200 200 200 200 200 200 200 2			
(14.) (lines 14 + 16)	C.O.R. Total - All Work*  * Do Not Round Off Numbers	\$	1,626.06	

Unit         Unit           Concrete Patching and Floor Prep         1 / LS @ \$ 50.00 /LS = \$ 55           Cleaning Sundries         1 / LS @ \$ 150.00 /LS = \$ 15           Temp Partitions/Zip Walls         1 / LS @ \$ 250.00 /LS = \$ 25	\$ 150.0 \$ 250.0 \$ 25.0 \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ -
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Concrete Work/Patching		4.00	HR	@	\$	25.00	/HR	=	\$	100.00
Cleaning		6.00	HR	@	\$	25.00	/HR	=	\$	150.00
Door and Hardware Handling/offloading	,	4.00	HR	@	\$	35.00	/HR	=	\$	140.00
Wood Door and Casework Touchup		1.00	LS	@	\$	250.00	LS	=	\$	250.00
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			SubContractor Equip	ment Break	Down (Sheet "				
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o sales tax charge			Enter 0 on line c. if contractor owned		(on line a.)		ing Cost*		-
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lo sales tax charge	@		Enter 0 on line c. If contractor owned	с. [	(on line a.)	6.75%		\$	-

## **Allowance Reduction Proposal**



208 Princess Wilmington, NC 28401 P: 910-791-8101 monteithco.com

Date:	7.21.21
Project:	Brunswick County Courthouse Addition & Renovation
Owner Address:	310 Government Center Drive, NE
	Bolivia, North Carolina 28422

## ARP # 125 R.1 - RFP 33 Courtroom 6 Revisions

Proposal includes all labor, material, and equipment cost associated with RFP 33. Time Extension and General Conditions are required, but excluded from the proposal and will be submitted once a start date is provided. No Tile is included in proposal, please advise if Public Waiting side of door 2100F is to match Opening 2030A. Scope is also priced for normal working hours.

Subcontractor	also priced for normal working	Proposal Total
A&B Signs R.1		\$358.49
Allied Fire Protection R.1		\$2,608.00
Arrowood R.1		\$9,780.00
CCF R.1		\$621.00
Macuch R.1		\$1,191.00
Duncan Paint R.1		\$2,380.00
East Coast Access		\$3,528.09
Macsons		\$4,804.00
Grey Interiors		\$3,430.15
TA Woods Electrical R.1		\$6,246.00
Concordia - Tile Excluded		\$0.00
MCC R.1		\$2,823.06
Paul Barbour & Sons R.1		\$1,271.00
N/A		\$0.00
	TOTAL SUBCONTRACTS	\$39,040.79
	5% GC FEE	\$1,952.04
	TOTAL CHANGE AMOUNT	\$40,992.83

## **Allowance Reduction Proposal**

	Sincerely,
	Matt Brittan
	Matt Brittan
Owner Acceptance	Monteith Acceptance

MONTEITH

CONSTRUCTION CORP.

RALEIGH | WILMINGTON

#### **Bettina Acosta**

From:

Roger Brown <rbrown.absignsystems@yahoo.com>

Sent:

Friday, July 16, 2021 6:41 AM

To:

Bettina Acosta

Cc:

Matthew Brittan; Daniel Hart

Subject:

Re: Brunswick County Courthouse: RFP 33: Revised Pricing

#### 3 additional signs, Sign Type C, the cost for these would be as follows:

Product:

\$ 255.00

Sales tax:

\$ 18.49

Delivery:

25.00

Installation: \$ 60.00 -installation with current contract signs

Total:

\$ 358.49

Roger L. Brown

## A-B Sign Systems

8639 Trail Lake Drive Powell, OH 43065-7992

#### 803,600,6157

rbrown.absignsystems@vahoo.com

On Thursday, July 15, 2021, 02:53:13 PM EDT, Roger Brown <rbrown.absignsystems@yahoo.com> wrote:

Bettina - I will send this evening.

Sent from my iPhone Roger L. Brown A-B Sign Systems 803.600.6157

On Jul 15, 2021, at 10:24 AM, Bettina Acosta <bacosta@monteithco.com> wrote:

Morning Roger,

I hope all is well! We received comments from the design team regarding RFP 33 for the Brunswick County Courthouse. May you please review and provide revised pricing by the COB today?

ARP #125: RFP 33 Courtroom 6 Revisions

A&B Signs:

## **CHANGE PROPOSAL FORM**

Project:	Brunswick County C	ourthouse	AFP Proposal #		
Contract:			Date	***************************************	
Contractor:	Allied Fire Protect	on, Inc.	AFP Job #	: <u>240-C</u>	-20
escription of cha	nge: RFP 33 Changes				
cope: Remove an	d replace (5) heads in Ch	amber 2124, (2) l	neads in Vestibule, (2	) heads in Deliberation	s 2128.
pdate CAD backgr	ounds, Current As-Builts	, Shop drawings a	and new permit drawi	ngs	
	ustments to existing lin				
	erations appear necess			accurate	
•	list with Qty, Item, Unit \$		h, OT mh, Total \$)	£250.42	SUBTOTALS
	tal Direct Cost of Materia			\$359.13	
	verhead & Profit on Item			\$35.91	
	5% maximum, includes s		imables)	**************************************	
	ales Tax	7.250%			
	nipping & Transportation ore Drill			\$0.00	\$395.04
	ne Dilli			40.00	Ψυσυ.υ-
abor	nop Hours	6 MH @	<b>\$37.31</b> /hr.	\$223.86	
	oreman Manhours:	8 MH @	\$44.00 /hr.	\$352.00	
	esigner Manhours:	6 MH @	\$57.30 /hr.	\$343.80	
	ter Manhours:	8 MH @	\$38.19 /hr.	\$305.52	
	elper Manhours:	8 MH @	\$31.21 /hr.	\$249.68	
	verhead & Profit on Item		771.	\$125.10	
	5% maximum on straight		emium portion)		
·	& P includes supervisor		omani portion,		
•	ayroll Taxes & Insurance	39%	(Max 39%)	\$487.89	
	as (Foreman) Expense (			\$80.00	
	aily Expense \$15.00 Per l			\$45.00	\$2,212.85
quipment Rental	(Include quotes)	, ,			
	quipment Rental (1x 26' fo	or Demo			
	verhead & Profit on Item			\$0.00	\$0.00
(6)	% maximum)				
<u>.</u>	(Include quotes with mate	erial & equipment	backup)		
10. St	bcontractors			\$0.00	
11. O	verhead & Profit on Item	10. <b>6.000%</b>		\$0.00	\$0.00
(6	% maximum)				
				Subtotal of Proposal	\$2,607.89
12. Bo	onds (% of subtotal of pro	posal) 0.000%	general process on millions or numerical states (Aurille Physics Indian Section 1984)		\$0,00
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	ees to perform the work of Contract documents if the			amount specified abov	e and in
ontractor's Signa	<b></b>	ael Godsey	-	Date:	7/20/2021
pproval Recomm	ended by Design Cons	ultant:		Date:	
				Date:	-
MODE C MANTECON	tative Annroval			Hate:	

MATERIAL BREAKDOWN	<b>UNIT PRICE</b>	QUANTITY	EXT. COST
Victaulic V2708 Recessed Pendents	\$5.75	9	\$51.75
Victaulic AH-1 Flex	\$26.50	9	\$238.50
1" SCH 40 Pipe	\$3.28	21	\$68.88
1-1/2x1 mech tee	\$6.50	0	\$0.00
			\$0.00
			\$0.00
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			\$0.00
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			\$0.00
		Material Total	\$359.13



CASTIONOMITEMO(())

#### Brunswick County Courthouse – Bolivia, NC

#### RFP 33 - Courtroom #6 Revisions Pricing

(Adding 25 Linear Feet of Diewall, and 3 Linear feet for Gate)

#### \*Engineering\*

\$60.00 Per Man Hour

• 6 Man Hours

Total: \$360.00

#### \*Finished Materials

• Total: \$7,420.00

#### \*Installation\*

• 2 Extra Installation days

• Total: \$2,000.00

Grand Total: \$9,780.00



#### **Bettina Acosta**

From:

Matthew Brittan

Sent:

Monday, July 19, 2021 7:07 AM

To:

Bettina Acosta

Subject:

FW: Brunswick County Courthouse: Revising RFP 29, 32 & 33

Print to PDF and this will be the response to this portion to be included in our R1 submission.

Thanks,

**Matt Brittan Project Manager M:** 808.354.1757 **O:** 910.791.8101



From: Carl Hathcock <chathcock@arrowoodmfg.com>

Sent: Friday, July 16, 2021 4:01 PM

To: Bettina Acosta <bacosta@monteithco.com>; Daniel Hart <dhart@monteithco.com>; Matthew Brittan

<mbr/>brittan@monteithco.com>

Cc: jimyeatts@yahoo.com; jeudy arrowoodmfg.com <jeudy@arrowoodmfg.com>

Subject: RE: Brunswick County Courthouse: Revising RFP 29, 32 & 33

For Courtroom 5 Revisions - RFP29 - By changing the layout it has created additional mitered corners throughout. Which also means all the base and profile for the base has to be mitered as well, which takes additional time. Lining up all these miters, leveling and securing them is a difficult challenge and it takes a well paid, detail ordinated installer to complete and have look decent. I'm not taking any amount of money off of the RFP29 for installation, to be honest, I want to add more to it. This same explanation can be found at the top of the proposal I sent. Plus we have to scribe our countertop around a column.

For Courtroom 33 - Courtroom 6 Revisions - Adding in an extra 25LF of diewall and a gate takes time to install, and it adds extra trim to be installed as well. Again, I'm not taking off any monies to accommodate them.

I believe my pricing to be very fair, and I guarantee that the installation will take longer than what I have before and what I added.

I'm not trying to be a tyrant, but I can't do anything on this. If I had over priced it, I would come off of the price some, but I think its very fair.

thanks, I hope everyone has a great weekend.

On July 15, 2021 4:24 PM Bettina Acosta < bacosta@monteithco.com > wrote:



2918 ORVILLE WRIGHT WAY • WILMINGTON, NC 28405 Phone (910) 343-3350 • Fax (910) 343-4131 www.ccfloorcovering.com

July 6, 2021

Monteith Construction 208 PRINCESS STREET Wilmington, NC 28401

Re: BRUNSWICK CO COURTHOSE Bid # Q0004138 CO- 007

RFP #33 add carpet in Vestibule #2123

( Already added Carpet in Chamber #2128 and Deliberation #2124added area in #29)

Dear : Matt

Thank you for the opportunity to submit the following proposal for the above referenced project.

Scope of Work:

CPTL	CARPET TILE	(CPT) col	or Mineral #2123		
			<del></del>	36.00	<del>-\$720.00</del>
Floor Prep	FLOOR PREP S	skim Coat	Floor		
			<del>175.</del> 00 SF @-	0.65	<b>-\$113.75</b>
			Tota	l Price	<del>- \$833.75</del>

#### Notes:

1) No demolition of existing flooring included.

\* \* \*

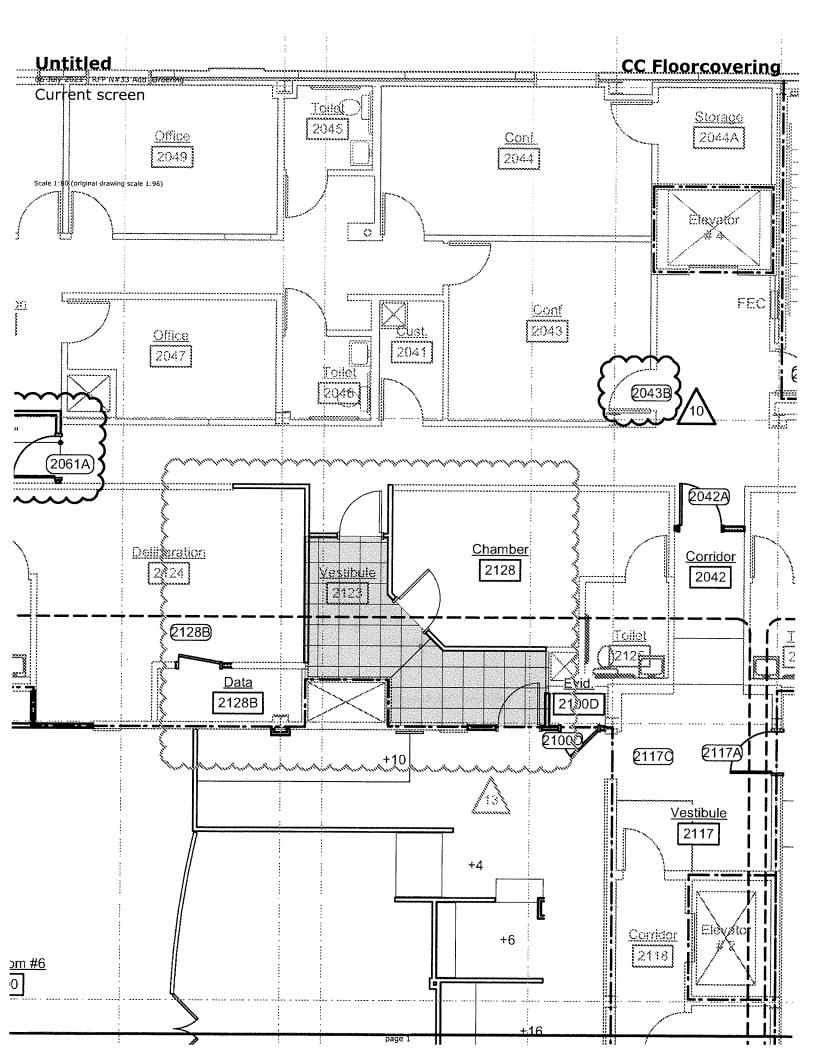
I hope you find this proposal complete and to your satisfaction.

Sincerely, Chris Brock

## **REVISED PRICING**

Carpet Tile: 15 SY @ \$36 = \$540 Floor Prep: 125 SF @ \$.65 = \$81

Revised Flooring Number: \$621



#### MACUCH STEEL PRODUCTS, INC. Phone: (706)823-2420 P.O. Box 3285 1527 Augusta Ave. Augusta, GA 30914 Augusta, GA 30901 Fax: (706)396-6199 **CHANGE ORDER REQUEST #7** Contractor: Monteith Construction Date: 7/9/2021 Attention: Graham Smith Job Name: **Brunswick County Courthouse** Address: Job Location: Bolivia, NC 120679 Job Number: Change Order Request #: **Gary Cowart** Submitted By: Yes No Attachments: Phone #: **Description of Work** Additional Rails per RFP 33 dated June 29, 2021 Detailing 85 \$ 1 hours Material \$ 685.00 \$ 600 Labor hours \$ PM Time 10% Overhead \$ 68.50 \$ 5% Profit 37.60 \$ Tax @ 6.75% \$ 53.40 \$ Freight Sub-Total \$ 844.50 300.00 300.00 Erection **Erection Labor** 10% Overhead \$ 30.00 5% Profit 16.50 Railing LF increased was orientation of room changed. Roughly 15 LF Sub-Total \$ 346.50 Additional Time Requested (number of days added to our schedule) day(s) This remains simply a Change Order Request until Macuch Steel receives a signed document from you with the adjusted contract amount. Work will not be performed until the executed Change Order is received. 4 Detailed Drawings Included 🗹 Sales Tax Included Delivered to Jobsite Work Performed Internal use only Approved: Date: TOTAL \$1,191.00

# -Proposal-Duncan's Paint and Wallpaper, Inc. 5946 Red Hill Rd. • Whiteville North Carolina 28472

and the second s		
Phone: (910) 642-7442 • Cel		
Matt Britten Monteill	PHONE	DATE //202/
STREET 1Striten 1 VSV 1-12/	JOB NAME	1 1/2021
	RFP 33	•
CITY, STATE, AND ZIP CODE	JOB LOCATION	
	B(CH)	
ARCHITECT DATE OF PLANS	JOB PHONE V	
We hereby submit specifications and estimates for:		
RFP33 DOOR ZIDOF FIE Paint Z New Hu	ld Stain	
Pain A 7- New Hu	N F	
, , , , , , , , , , , , , , , , , , ,	n en	
0 + 0 = 0		
Repairt RM 2124, 21	()	
	33/43/00/3/00/04/95/04 (MeSS-41MS200-1-00/3/44/64/04/04/64/64/6/04/64/64/04/64/64/04/64/64/04/64/64/04/64/64/	
	All Lubor	+ malegials
		I varylals
		\$ 2,380
		\$ 2,380
	marana siste dan sila dan dan san sila dan san san dan dan dan dan san dan dan dan dan dan dan dan dan dan d	
The state of the s	ether y egin heldere mendyn instrikenseedd helder in medd ladre min meanny bearn i'r dan rijaan ell hederinas helder mae'r y	
<b>We Propose</b> hereby to furnish material and labor — $c$	complete in accordance w	ith above specifications, for the sum of
•	de	ollars (\$ 2,380 ).
Payment to be made as follows:	·	).
All material is guaranteed to be as specified. All work to be completed in a workin manner according to standard practices. Any alteration or deviation from above s	anlike pecifica- Authorized	
stone involving extra costs will be executed only upon written orders, and will be co	ime an Signature 🕰	
charge over and above the estimate. All agreements contingent upon strikes, accid delays beyond our control. Owner to carry fire, tornado, and other necessary insu	rance. Withdrawn by us if not accept	nted within
Our workers are fully covered by Workmen's Compensation histirance.		days.
Acceptance of Proposal — the above prices, specifications and conc	liton	
anticfactory and are bereby accepted. You are authorized to do the work	as Signature	
specified. Payment will be made as outlined above.		
Date of Acceptance:	Signature	



#### **CHANGE ORDER PROPOSAL**

100	lv	1.	2021	

Monteith Construction
Attn: Matt Brittan

**Project:** Brunswick County Courthouse

Proposal #: J1330 - RFP 33

#### Proposal:

•	Door 2100F -	to provide r	new opening 30	070, C45 UL	rated, per b	pelow
---	--------------	--------------	----------------	-------------	--------------	-------

- One new hollow metal frame (standard three sided, 16 gauge, cold rolled steel, 2" head,
   6" jamb, metal stud anchors, welded)
- One new wood door flush, unfinished.

Field stain by Duncan

One hardware set 12 to included items listed below

Quantity	Description	Model Number
3	HINGE	CB1279 4.5 X 4.5 NRP 26D
1	RIM EXIT DEV	98L-BE-F-(06 LEVER)-630
1	CLOSER	4040XP-Rw/PA-SNB-AL
1	KICKPLATE	8400 12 X 34 630
1	WALL STOP	407CCV-630
1	GASKETING	5050C-17'

• Doors 2123A, 2123B, 2124A, and 2128A – nothing included. All material to be salvaged and reused.

Total add of \$3,305.00 PLUS TAX (Grand Total: \$3,528.09 including 6.75% Sales Tax)

Prepared by: April Little

\*\*If accepted, please sign below and return immediately. A formal change order should be provided within 15 days. Failure to provide formal change order may delay shipment of materials. \*\*

F	approved by	<b>'</b>	Date:



## **Change Order Proposal**

Date: 6/17/2021

TO: Monteith

Attn: Matthew Brittan

Project: BCCH - CO Request RFP 33 - Rev. 14

William S. McCloud

Description	TOTAL
The following price includes all labor, material and equipment required to complete the following scope of work as per provided RFP 33 Documents, work not included in RFP 29.	
Removal and disposal or salvage of additional doors, frames, hardware and walls as per Drawing AD1.1 Revison 14 specifically to include:	\$4,804.00
* Rooms 2102 and 2127 - Doors were scheduled for demolition, now two doors and frames need to be removed and salvaged and opening at 2102 needs to be widened.	
Rooms 2123, 2124 & 2128 - Three doors & frames need to be removed and salvaged which were not scheduled for demolition. Also, approximately 400 sf walls scheduled to remain are now scheduled to be demolished.	
Normal Working Hours	
	more are a the distance must like a food year for attending a going you ago

Acceptance Signature



**GREY INTERIORS, LLC** 

261 N. Front Street Wilmington, NC 28401 Office: (843) 839-2051 greyinteriors@greyintllc.com

### **PROPOSAL:**

Project: Brunswick County Courthouse

Location: Bolivia NC

Architect: Sawyer, Sherwood & Assoc.

Date: 7/16/21

Plans:

Dated:

RFC: 0

<u>Description:</u> Per Direction of MCC, Grey Interiors proposes to supply all material, labor and equipment necessary to carry out work outlined in RFP 33. This includes; installation of door frames, doors, and hardware 2100F, 2123A, 2123B, 2124A, 2128A; framing, hanging and finishing new walls at 2100D and 2100F; framing, hanging and finishing hard ceiling at courtroom #6 ramp. Also includes credit for deletion of walls in Courtroom #6. Excludes nightwork, any demolition and anyting associated with new casework in

Courtroom #6.

Total Base Bid: \$ 3,430.15

Exclusions:

After Hours, Nighttime, Overtime, Weekend Work, Dumpsters/Bins or Anything Not Specifically Mentioned in The Above Inclusions.

Respectfully Submitted, Grey Interiors, LLC Michael Shook (910) 470-7020 mshook@greyintllc.com

Project Name	
Project Location	
<b>Company Making</b>	Request

Brunswick County Courthouse	
Bolivia NC	
MCC	

RFP #33

Reason for Change	
-------------------	--

Date	:	July 16, 2021	RFC Number		
1.		Increase in Labor Costs		-	\$1,759.00
2.	01040	Increase or Decrease in Labor Burden 40% Labor Burden		-	\$703.60
3.		Increase or Decrease in Material Quantities a	nd Costs	-	\$339.81
4.	01234 1250	Travel Lodging		-	\$0.00 \$0.00
5.	11000	Equipment Rental		-	\$0.00
6.		Total Lines 1-5.		-	\$2,802.41
7		Subcontract Fee of 20%		-	\$560.48
8		Total Lines 6 & 7		-	\$3,362.89
9	01120	Insurance 2% Fee		-	\$67.26
		TOTAL BASE BID		-	\$3,430.15
		Owner	Architect	Contractor	
		Date	Date	Date	

PROJEC	T NAME: Brunswick County Courthouse			~ ~ F \			07/16/21
PROJEC"	T NUMBER: 2010		( T	- GREY	<i>(</i>		
PROJEC"	T LOCATION: Bolivia, NC			INTERIOR	S		
			E	stimate Details			
				MA	TERIALS		MATERIALS
PHASE	ITEM DESCRIPTION	UNITS	QUANTITY	UNIT PRICE	TOTAL	SALES TAX	TOTAL
09250	5/8" Type X	SF	390	0.43			
	5/8" Type X	SF	-622	0.43		·	
	5/8" EXP Sheathing	SF		0.82		\$ -	\$ -
	1" Shaftliner	SF		0.93		\$ -	\$ -
	R-11 Batt Insulation	SF	140	0.34		\$ 3.33	
	4" Stud, 20ga	LF	260	0.99		\$ 18.02	·
	4" Stud, 20ga	LF	-270	0.99			```
	4" Trac, 20ga	LF	40	0.96		\$ 2.69	
	4" Trac, 20ga	LF	-30	0.96		1	
	4" Slotted Slip Trac, 20ga	LF	40	2.47		\$ 6.92	
05501	4" Slotted Slip Trac, 20ga	LF	-30	2.47	\$ (74.10)		
	1-1/2" x 1-1/2" Angle	LF	40	0.89	L.i		
05501	3-5/8" Trac, 20ga	LF	76	0.48		\$ 2.55	\$ 39.03
05501	3-5/8" Stud, 20ga	LF	108	0.52		\$ 3.93	\$ 60.09
05501	7/8" DWC, 20ga	LF		0.5		\$ -	\$ -
05501	1.5" DWC, 20ga	LF		0.65	\$ -	\$ -	\$ -
05501	2.5" C-H Studs, 20ga	LF		1.05	\$ -	\$ -	\$ -
05501	2.5" J Trac, 20ga	LF		0.56	\$ -	\$ -	\$ -
05503	1 1/4" Sharps/SDs	BOX	0.85	68.4	\$ 58.14	\$ 4.07	\$ 62.21
05503	1 1/4" Sharps/SDs	вох	-0.35	68.4	\$ (23.94)	\$ (1.68)	\$ (25.62)
05503	10 x3/4" Pan Heads	вох	1.25	112.8	\$ 141.00	\$ 9.87	\$ 150.87
05503	10 x3/4" Pan Heads	BOX	-0.65	112.8	\$ (73.32)	\$ (5.13)	\$ (78.45)
05503	C5 Trak Fast Pins	BOX	0.2	88.8	\$ 17.76	\$ 1.24	\$ 19.00
05503	C5 Trak Fast Pins	вох	-0.4	88.8	\$ (35.52)	\$ (2.49)	\$ (38.01)
09252	Joint Compound All Purpose	PAIL	3.6	17.94	\$ 64.58	\$ 4.52	\$ 69.10
09252	Joint Compound All Purpose	PAIL	-2.3	17.94	\$ (41.26)	\$ (2.89)	\$ (44.15)
09252	Durabond	BAG	2	14.4	\$ 28.80	\$ 2.02	\$ 30.82
09252	Durabond	BAG	-1	14.4	\$ (14.40)	\$ (1.01)	\$ (15.41)
09252	Paper Tape	ROLL	2.2	3.3	\$ 7.26	\$ 0.51	\$ 7.77

<b>TOTALS</b>					\$	317.58	\$	22.23	\$ 339.81
					MATE	RIALS TOTAL	SALES	TAX TOTAL	TOTAL JOB
07203	Fireproofing				\$	-	\$	-	\$ -
06030	Blocking				\$	-	\$	-	\$ -
01600	Small Tools/Drill Bits	Each	-0.2	65	\$	(13.00)	\$	(0.91)	\$ (13.9
01600	Small Tools/Drill Bits	Each	1.8	65	\$	117.00	\$	8.19	\$ 125.1
09252	Equalizer Plus (Lev 5)	PAIL		50.4	\$	-	\$	-	\$ -
09252	Paper Faced Corner Bead	PC	-14	3.96	\$	(55.44)	\$	(3.88)	\$ (59.3
09252	Paper Faced Corner Bead	PC	11	3.96	\$	43.56	\$	3.05	\$ 46.6
09252	Paper Tape	ROLL	-1.25	3.3	\$	(4.13)	\$	(0.29)	\$ (4.4

PROJEC	T NAME:	Brunswick County Courthouse				7	07/16/21
PROJEC	T NUMBER:	2010		( T	GREY		
PROJEC	T LOCATION:	Bolivia, NC	]		INTERIORS		
					Estimate Detail	S	
i.						Labor	
Labor		TEM DESCRIPTION	UNITS	QUANTITY	UNIT PRICE	TOTAL	LABOR TOTAL
01040	Foreman		Hours	20			\$ 640.00
01040	Foreman		Hours	-8	32	\$ (256.00)	\$ (256.00)
01101	Exterior Labo	Г	Hours		25		\$ -
01102	Interior Labor		Hours	87	25	\$ 2,175.00	\$ 2,175.00
01102	Interior Labor		Hours	-32	25	\$ (800.00)	\$ (800.00)
06020	Blocking Lab	or	Hours		25	\$ -	\$ -
06161	Sheathing La	bor	Hours		25	\$ -	\$ -
06604	FRP Corninc	e Labor	Hours		25	\$ -	\$ -
07202	Fire Proofing	Labor	Hours		25	\$ -	\$ -
07923	Air Barrier La	bor	Hours		25	\$ -	\$ -
08014	Door/Accesso	ories Install Labor	Hours		25	\$ -	\$ -
09257	Shaftwall Lab	or	Hours		25	\$ -	\$ -
09259	Patchwork La	ibor	Hours		25	\$ -	\$ -
09260	Point Up Lab	or	Hours		25	\$ -	\$ -
10010	Specialties La	abor	Hours		25	\$ -	\$ -
10011	Accessories	_abor	Hours		25	\$ -	\$ -
						\$ -	\$ -
						\$ -	\$ -
						\$ -	\$ -
	Europe Transfer					LABOR TOTAL	TOTAL JOB
TOTALS						\$ 1,759.00	\$ 1,759.00

To: Attn: **Monteith Construction** 

Matt Brittain

Re:

**Brunswick County Courthouse** 

Addition & Renovation

Electrical

08-Jul-21

From:

**TA Woods Company** 

Mechanical/Electrical Contractors

ECPR-44

RFP-33 Courtroom 6

Provide chagnes as noted on electrical drawings for RFP-33 courtroom 6 changes. Light fixtures have 3 week lead time after release of order, lead time subject to change at manufacturer's discretion.

1	77747577410	\$	1,910.75	
2		\$	45.00	see attachment
3			22.05	(.35 cents per man-hour)
4	2215(2)	•	1,977.80	
5	02.00 .2.	\$	133.75	7.00%
Α.	Direct Cost Subtotal	\$	2,111.55	
				Man-Hours
6	Journeyman / Mechanic	\$	1,705.00	55.00
7	Crew Foreman	\$	272.00	8.00
8	Subtotal	\$	1,977.00	
9	Safety 1st - productivity burden	\$	39.54	(2% of labor)
10	Labor Taxes, Insurance and Fringe Benefits	\$	790.80	40%
В	Labor Cost Subtotal	\$	2,807.34	
11	Total Cost (A+B)		\$4,918.89	111111111111111111111111111111111111111
12			\$737.83	15%
13	Subtotal		\$5,656.73	
14	Profit		\$282.84	5%
с. 🖳	T.A. Woods Total Change		\$5,939.56	
				Subcontractors
15				
1€	· · · · · · · · · · · · · · · · · · ·		\$198.78	BFPE
17			\$0.00	
18			\$0.00	
19	Subcontractor Subtotal		\$198.78	
20	Profit		\$29.82	15%
D.	Subcontractors Total Change		\$228.60	
<b>E.</b>	BOND	\$	77.72	1.26%
F.	TOTAL CHANGE (C+D)		\$6,246.00	

Due to fluctuations in commodity pricing and scheduling pricing only valid for 5 days Extension of time requested: **2 work** days.

7/8/2021

Pete Browne, Electrical Project Manager

Dat

#### **Brunswick County Courthouse**

ECPR-44

RFP-33 Courtroom 6

	Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equip
SCOPE							
1 Light Fixtures	1	LS	\$1,241.75	\$1,241.75	11.250	11.25	
2 12/2 MC Cable,terminations, supports	300	LF	\$1.29	\$388.00	0.057	17.00	
3 3/4" EMT conduit, fittings, supports	30	LF	\$2.30	\$69.00	0.167	5.00	
, , , , , , , , , , , , , , , , , , ,							
4 #12 wire	100	٤F	\$0.28	\$28.00	0.013	1.25	
5 boxes, devices, covers	17	Each	\$10.82	\$184.00	0.618		
6 Demo	1	LS	\$0.00		10.000	10.00	
7		LF	#DIV/0!		#DIV/0!		
8		LS	#DIV/0!		#DIV/0!		
9 10							
Sub Totals				\$1,910.75		55.00	0.00
11 MISC							
Labels - Phenolic		Each		\$ -			
Sub Totals				\$ -			
		0.1.0			7.00	0.00	¢45.00
12 Direct Supervision (Crew Foreman)		0 LS			7.86	8.00	\$45.00
40 Hillion Co. Time Discount & Heading!							
13 "Just in Time Placement & Handling"		0 lbs			0.030	0.00	
Loading & Unloading -	•	UIDS			0.030	0.00	
Loading & Unloading - Roof		0 lbs			0.040		
Materials Handling - Lull		LS				0.00	
Sub Totals						0.00	45.00
14 Rentals		Weekly					
		\$75.00					\$0.00
Excavator		\$600.00					\$0.00
Skid Steer		\$265.00					\$0.00
Tamps		\$225.00					\$0.00
Delivery and P/U		\$200.00					\$0.00
Sub Total							\$0.00

#### **Bettina Acosta**

From: Joe Smith < jsmith@tawoods.com>

**Sent:** Monday, July 19, 2021 10:51 AM

To: Matthew Brittan

Cc: Bettina Acosta; Daniel Hart

Subject: RE: Brunswick County Courthouse - ARP 125 Courtroom #6 Revisions electrical

see below

Respectfully, Joseph Smith Vice President



Mechanical | Plumbing | Electrical

6713 Netherlands Drive Wilmington, NC 28405

Phone: 910.452.7900 ext.120

www.tawoods.com



From: Matthew Brittan < mbrittan@monteithco.com>

**Sent:** Friday, July 16, 2021 1:23 PM **To:** Joe Smith <jsmith@tawoods.com>

**Cc:** Bettina Acosta <bacosta@monteithco.com>; Daniel Hart <dhart@monteithco.com> **Subject:** FW: Brunswick County Courthouse - ARP 125 Courtroom #6 Revisions electrical

Joe – See comments below for RFP 33. This will be the first of 3 emails, FYI.

Can you please resubmit/justify pricing as necessary?

Matt Brittan Project Manager M: 808.354.1757

**O:** 910.791.8101



From: Jenny Williams < jenny@s2a3.com > Sent: Friday, July 16, 2021 1:12 PM

To: Matthew Brittan < mbrittan@monteithco.com>

Cc: john sawyer Architect < john@s2a3.com>

Subject: FW: Brunswick County Courthouse - ARP 125 Courtroom #6 Revisions electrical

Matt,

See electrical comments below for ARP #125 Courtroom #6 Revisions.

#### Thanks,

Jenny Williams, AIA



124 Market Street Wilmington, NC 28401 910.762.0892 \$2a3.com

From: Mark Ciarrocca < mciarrocca@cheathampa.com >

**Sent:** Friday, July 16, 2021 1:08 PM **To:** Jenny Williams < <u>jenny@s2a3.com</u>>

Cc: john sawyer Architect <john@s2a3.com>; Casey Gilman <cgilman@cheathampa.com>

Subject: FW: Brunswick County Courthouse - ARP 125 Courtroom #6 Revisions

#### Jenny,

#### Comments:

		Quant		Unit Price	Ma To
1	SCOPE Light Fixtures	*	LS	\$1,241.	75
2	12/2 MC Cable,terminations, supports	300	LF.	\$1.	29
3	3/4" EMT conduit, fittings, supports	30	LF	<b>\$</b> 2.	30

- 1. Seems reasonable.
- 2. Similar to previous comments inconsistency in pricing between ARPs. For MAT, we have seen \$1.00/ft, \$1.45/ft, and \$1.29/ft here. For LABOR, 0.054, 0.045, and 0.057 here.

material is always fluctuating, we are pricing based on a weekly hot sheet we get from vendors labor fluctuates depending on the level of difficulty of the installation

- 3. 1" EMT labor proposed at 0.144 on ARP 177 why 0.167 here for  $\frac{3}{4}$ " EMT? working above grid is more time consuming than in a stud wall
- 4. We have seen varying numbers for this also. MAT 0.30, 0.25, and 0.28 here. LAB 0.01, 0.012, and 0.0913 here.

the shorter the run the higher the labor average as you still have to get the

.2

rolls of wire together, make up the head to get connected to the fish tape and pull the wire

#### Regards,

Mark A. Ciarrocca, P.E.

Cheatham & Associates, PA | Consulting Engineers

3412 Enterprise Drive, Wilmington, NC 28405

mciarrocca@cheathampa.com ♦ Phone: 910-452-4210 ♦ Mobile: 910-620-0099

From: Jenny Williams < jenny@s2a3.com> Sent: Wednesday, July 14, 2021 4:52 PM

To: Mark Ciarrocca < mciarrocca@cheathampa.com >; Casey Gilman < cgilman@cheathampa.com >

Cc: john sawyer Architect < john@s2a3.com>

Subject: Brunswick County Courthouse - ARP 125 Courtroom #6 Revisions

Good afternoon,

And here's another ARP. This one is for RFP #33 Courtroom #6 Revisions.

Please review the fire protection and electrical cost proposals and let us know if you have any comments.

Thanks,

Jenny Williams, AIA



124 Market Street Wilmington, NC 28401 910.762.0892 S2a3.com



2001 BLUE CLAY RD WILMINGTON, NC 28405-8601

PHONE (910) 790-1909 FAX (910) 790-8636

### Quoted To Customer

T A WOODS COMPANY 6713 NETHERLANDS DR WILMINGTON, NC 28405-3776

Phone (910) 452-7900 Fax (910) 452-7913

Job	Name			
ВССН	Fixtur	e <i>s</i>		

Quote No.	Date	Page
0025363	7/08/21	1
Expiration	7/20/21	
Revised Dat	e	7/08/21
Bid Due Dat	e	7/08/21

#### Quoted By

Grant Johnson RGJohnson@WINLectric.com (910) 790-1909

Quotation Total

1,328.67

00016	9 18 1	OTH, NET 25TH PROX	JOE SI	JOE SMITH JOSEPH MAR.			TON	S
Line	Qty.	$D \in S \subset \Gamma$	i p t i o n		Unit Price	UOM	Exten Price	7 To 1 To 1 To 1
1.0	2	HUBBELL LCAT22-35MLC			107.0312	EA	214.0	6
2.0	2	LCAT22-35MLG-EDU TY HUBBELL FK22 FK22 TYPE B22F K1			28.4500	EA	56.9	0
3.0	3	EMERGI-LITE TYPE X	LT		28.3500	EA	85.0	15
4.0	2	ELXN400RN HUBBELL LCAT22-35MLC			107.0312	EA	214.0	6
5.0	2	LCAT22-35MLG-EDU TY HUBBELL LCAT24-35HLC	G-EDU		123.4200	EA	246.8	4
6.0	1	LCAT24-35HLG-EDY TY EMERGI-LITE 12MPR12H 12MPR12H2LJ TYPE EC	H2LJ		204.1200	EA	204.1	.2
7.0	2	HUBBELL OMNIDT2000 OMNIDT2000 TYPE COS LEAD TIME 2-3 WEEKS		110.3600	EA	220.7	'2	
			Tax Area Id	Net S	ales		1,241	. 75
			341290000	Freigh	t			. 00
				Tax			86.	. 92

## **CHANGE ORDER**

## BFPE International 3300 HWY 421 North Wilmington, NC 28401 910.762.5418

JOB NAME: JOB NUMBER:	DATE
Brunswick County Courthouse	7/9/2021
Requested/Authorized by: TA Woods	

Description: RFP 33 show an exisitng horn/strobe and strobe that need to be replaced.

Qty	PART#	DESCRIPTION	Unit	Total
				\$0.00
1	GEC3-24WR	Gentex Horn/strobe	\$75.00	\$75.00
1	GES3-24WR	Gentex Strobe	\$55.00	\$55.00
				\$0.00
***************************************				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
		Sub-total equipment		\$130.00
		Add: NC sales tax	6.75%	\$8.78
		Total		\$138.78
LABOR:				
				\$0.00
1	hrs	Labor	\$60.00	\$60.00
		Total Price		\$198.78

Signature of Acceptance:

Date:

1	
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-	

# SubContractor's Change Order Proposal Cover (Sheet "A") Brunswick Courthouse Addition & Renovation

(Form used for 1st, 2nd, 3rd tier subs)

## **Monteith Construction**

Detailed Scope Of Work: Proposal includes material, labor and equipment cost associated with temporary plastic barriers maintenance for continued cleanliness in occupied spaces and door and hardware handling. Price excludes full temporary walls pending the start of RFP 33 scope.

Contembolished	C.O.R. Total*	\$ 2,823.06
3	National	 

(Signature here): Date: 7.20.21

(Type name here): Matt Brittan Brunswick Courthouse

	SubContractor Summary - (Sheet "B")			
Summa	ary of SubContractor's Self Performed	Work		
(1.) (= line e. from Sheet "C").	Total Materia	al*   \$	1,109.06	***************************************
(2.) (=Line e. from Sheet "D").	Total Labo	or*  \$	1,624.00	
(3.) (= line e. from Sheet "E").	Total Equipmer	nt*  \$	90.00	
(4.) ( =lines 1 + 2 + 3)	Self Performed Work*	\$	2,823.06	
Sumn	nary of other Quoted Work (subcontra	cts)		
(5.) Quote - Subcontractor #1	Quote #1 Total* (without OH&P)	\$		
(6.) Quote - Subcontractor #2	Quote #2 Total* (without OH&P)	\$	<u>-</u>	
(7.) Quote - Subcontractor #3	Quote #3 Total* (without OH&P)	\$		
(8.) (lines 5 + 6 + 7)	Quoted (subcontract) Work*	\$		
(9.) (on line 8)	8% max) 20 % OH&P	\$	-	
(10.) (lines 8 + 9)	Total - Quoted (subcontract) Work*	\$	-	
(11.) (lines 4 + 10)	Total - Self Performed & Quoted (subcontract) Work* (less bond, ins, &	\$	2,823.06	
(12.) <u>(on line 11.)</u> (i	f applicable) 0.00% Bond*	\$		
(14.) (lines 14 + 16)		Te	0.000.001	
(17-) (mics 14 + 10)	C.O.R. Total - All Work*  * Do Not Round Off Numbers	\$	2,823.06	

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## **CHANGE ORDER**

#### PAUL BARBOUR & SON, INC.

Acoustical Ceiling and Commercial Flooring Contractors
P.O. Box 1129
Fuquay-Varina, North Carolina 27526
Telephone (919) 552-0747
Telefax (919) 552-0646

Attn:

**Graham Smith** 

Date:

6/30/21

Project:

**Brunswick County Courthouse** 

Estimator:

Bryan Barbour

Location:

Bolivia, NC

Change Order -

#9

#### **Work Description**

Price is to add grid work per RFP 33

Main areas of focus are around North end of Courtroom and adding extra grid.

Labor - \$ 620.00 Material - \$ 651.00

Note: This revision becomes part of, and in conformance with, the existing contract.

We Agree hereby to make changes as specified above, for a Price of: \$ Add \$ 1,271.00 Change Order Work outside the contract documents WILL NOT be Performed and Materials will not be procured until Written Notification is issued to Paul Barbour & Son, Inc.

Verbal request by a Contractor's employee in the field Does Not Constitute Approval of changes in the work to the Original Contract Documents.

Accepted: The above prices and specifications of this Change Order are satisfactory and are hereby accepted. All work to be performed under same terms and conditions as specified in the original Subcontract/PO and becomes part of the existing Subcontract/PO.

Company Name:	Company:	Paul Barbour & Son, Inc.				
By:	By:					
Name:	Name: Brya	n Barbour				
Title:	Title: Vice F	Title: Vice President				
Date:	Date: 7/20/2	21				

<sup>\*\*</sup>Execute and return authorized Change Order to Paul Barbour & Son,Inc. to initiate Change Order work to be performed. Change Order will remain pending until official written documentation is received by Paul Barbour & Son, Inc.

### Brunswick County Courthouse Addition & Renovations

## Request for Proposal 33

Courtroom 6 Revisions

June 29, 2021

To: Mr. Matt Brittan

Monteith Construction

208 Princess St

Wilmington, North Carolina 28401

Matt,

Please provide a cost for the changes made to Courtroom #6 and its adjacent spaces. See the following revised drawings:

#### Architectural:

- AD1.1 Second Floor Demolition Plan, Note, MCC advised previously that this demolition was included in ARP 115.
- A1.1 Second Floor Plan
- A1.5 Second Floor Reflected Ceiling Plan
- A4.6 Courtroom #6 Enlarged Plan & Casework
- A6.0 Door & Finish Schedules
- A6.1 Door & Finish Schedules

#### Electrical:

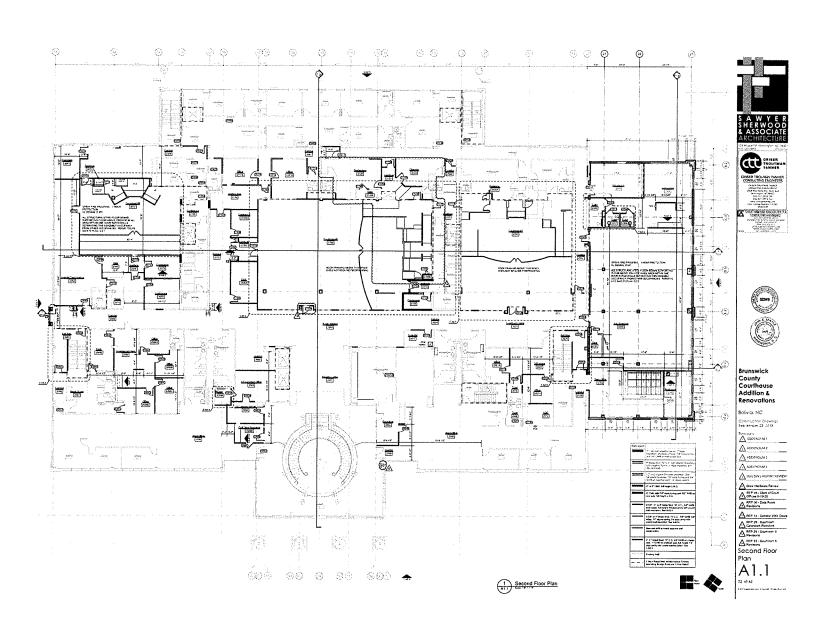
- ED1.5 Electrical 2<sup>nd</sup> Floor Lighting Demolition Plan
- E1.4 Electrical 2<sup>nd</sup> Floor Power Plan
- E1.5 Electrical 2<sup>nd</sup> Floor Lighting Plan
- E1.6 Electrical 2<sup>nd</sup> Floor Auxiliary Systems Plan

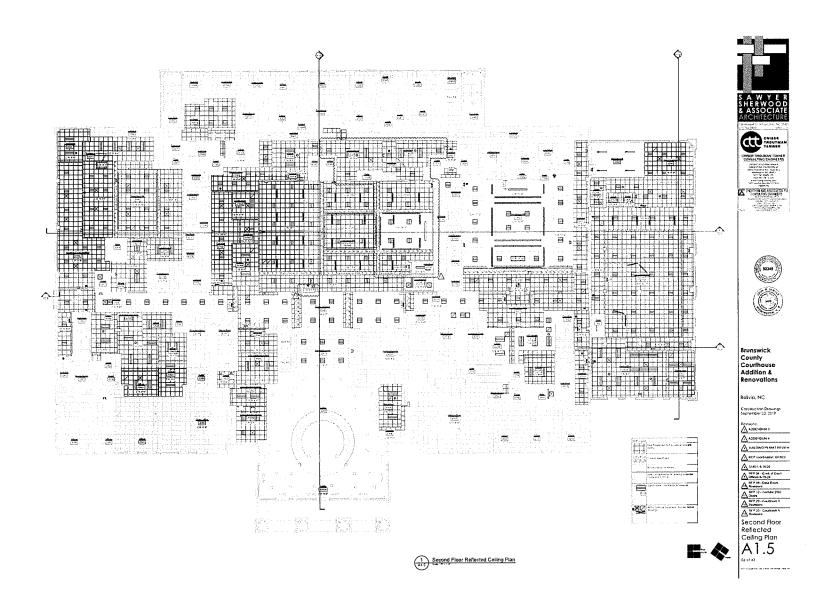
The following door & hardware changes apply; refer to revised architectural floor plans for door numbers:

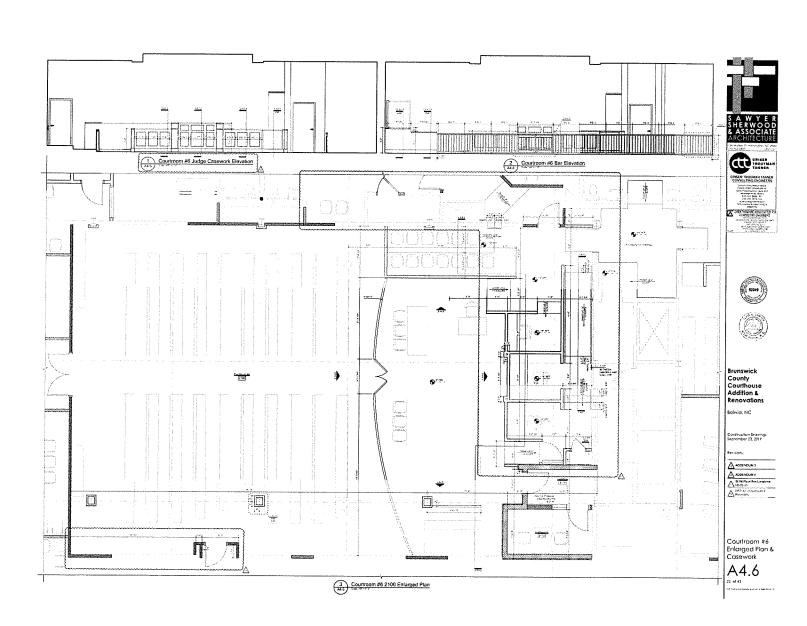
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  - o Assign to Bid Hardware Set 12.0
- Door 2123A
  - Salvage and reuse existing frame, door, and hardware
- Door 2123B
  - o Salvage, relocate, and reuse existing frame, door, and hardware
- Door 2124A
  - o Salvage and reuse existing frame, door, and hardware
- Door 2128A
  - Salvage and reuse existing frame, door, and hardware

John R. Sawyer, AIA









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Brunswick
County
Courthouse
Addition &
Renovations

Bolivia, NC Construction Drawings September 23, 2019

September 23, 2019

Recisions

ADDENDAR 4

ADDENDAR 4

ADDENDAR 1 THE ADDENDAR 6

DISCRIPTION OF A TOWN OF

Finish & Door Schedules

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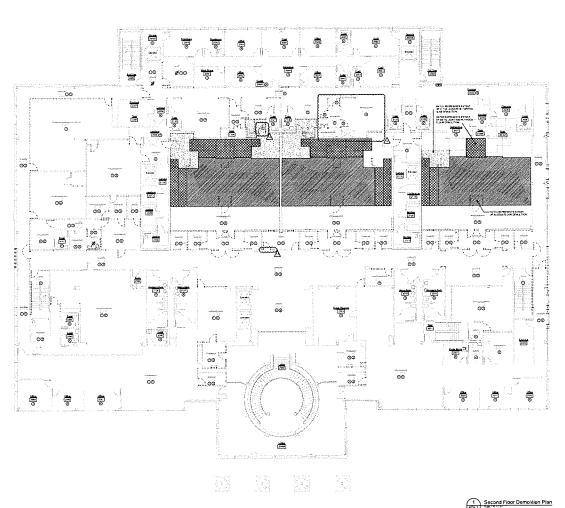


# Brunswick County Courthouse Addition & Renovations

Renovations
Bolivia, NC
Construction Drawings
september 23, 2019
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Finish & Door Schedules

A6.1











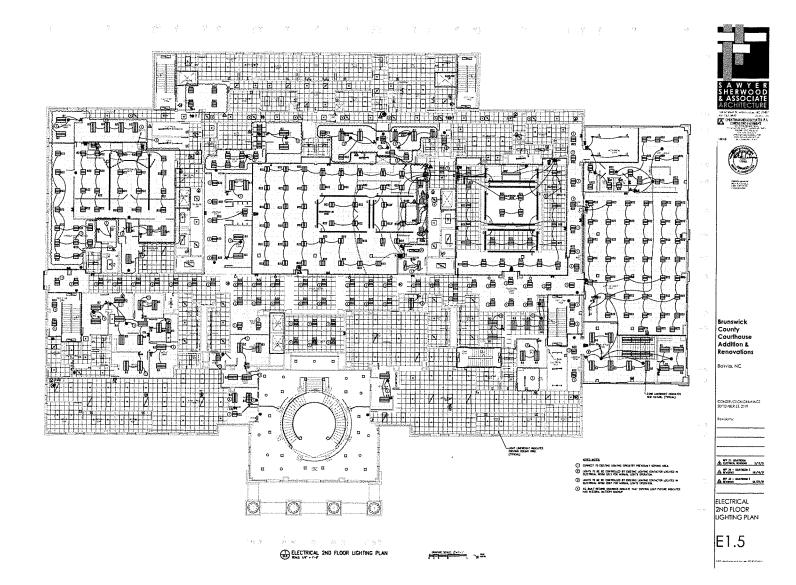
Brunswick County Courthouse Addition & Renovations

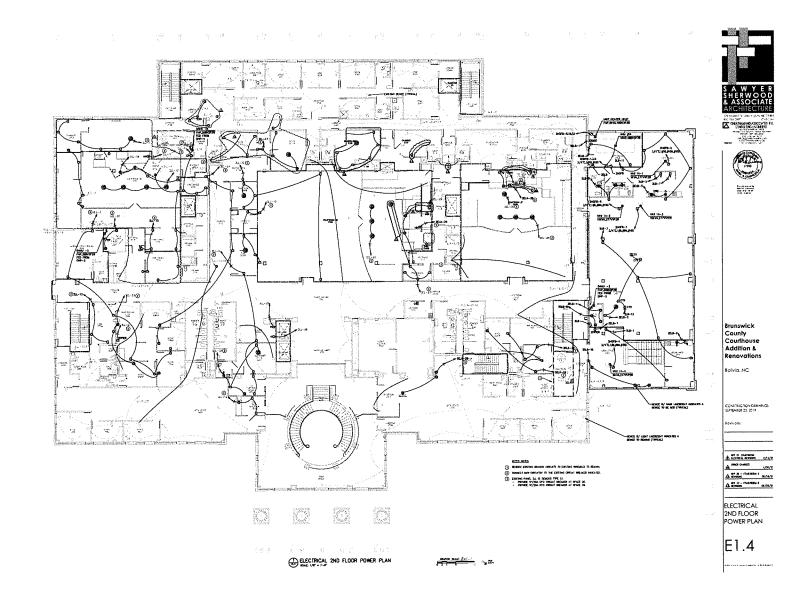
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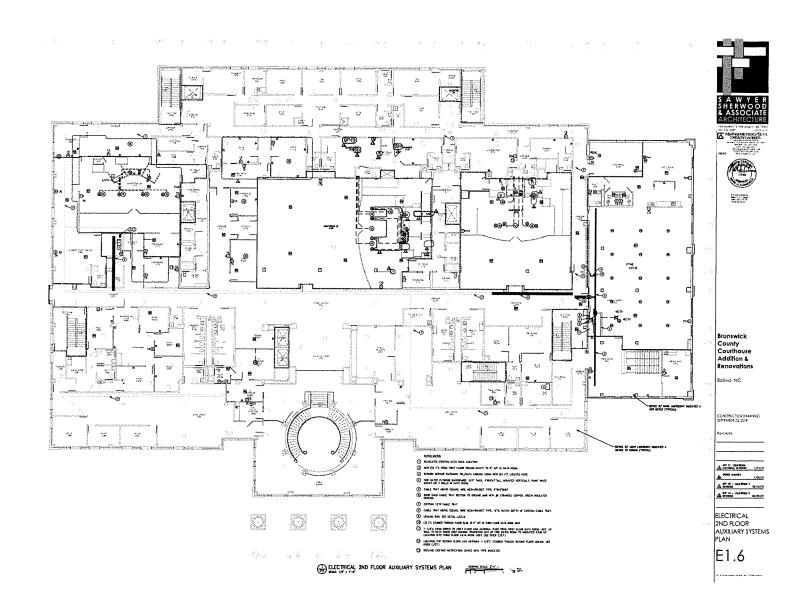
Construction Drawings September 23, 2019

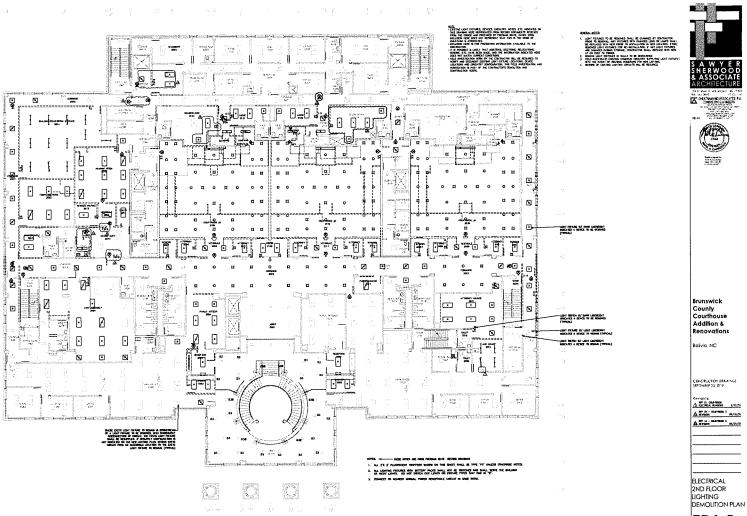
Second Floor Demolition Plan











ELECTRICAL 2ND FLOOR LIGHTING DEMOLITION PLAN

Addition & A SECURA SEASON

ED1.5

## **Allowance Reduction Proposal**



208 Princess Wilmington, NC 28401 P: 910-791-8101 monteithco.com

Date:	7.21.21
Project:	Brunswick County Courthouse Addition & Renovations
Owner Address:	310 Government Center Drive, NE
	Bolivia, North Carolina 28422

#### ARP #: 117 R.1 - RFP 32 3rd Floor Revisions

Proposal includes all labor, material, and equipment cost associated with RFP 32 3rd floor revisions. Time Extension and General Conditions are required, but excluded from the proposal and will be submitted once a start date is provided. Scope is also priced for normal working hour. Temporary zip walls are included in pricing, but full partitions are excluded based on start date.

Subcontractor		<b>Proposal Total</b>
Arrowood R.1		\$5,860.00
Grey Interiors		\$5,037.82
East Coast Access R.1		\$4,494.18
Duncan Paint R.1		\$850.00
Standard Glass		\$4,833.40
Concordia R.1		\$1,654.00
Allied Fire Protection		\$2,952.00
Rivers Plumbing R.1		\$4,587.00
TA Woods Electrical R.1		\$3,723.00
TA Woods Mechanical		\$6,491.62
MCC		\$1,735.88
N/A		\$0.00
N/A		\$0.00
	TOTAL SUBCONTRACTS	\$42,218.90
	5% GC FEE	\$2,110.95
	TOTAL CHANGE AMOUNT	\$44,329.85

## **Allowance Reduction Proposal**

	Sincerely,		
	Matt Brittan		
	Matt Brittan		
Owner Acceptance	Monteith Acceptance		

MONTEITH
CONSTRUCTION CORP.
RALEIGH | WILMINGTON



CASEWORK/MILLWORK

#### Brunswick County Courthouse - Bolivia, NC

Change Order in Regards to RFP 32 (Breakroom Tall Cabinets only)

RFP 32 shows (3) 36" wide Tall cabinets and (1) 18" wide Tall Cabinet. Unless there is a reason for this design, Arrowood Suggest making all 4 cabinets equal width's which would be around 32" each, with equally spaced fillers on both ends.

#### \*Finished Materials\*

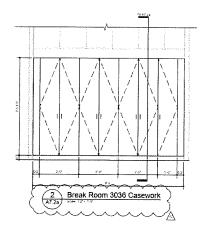
- 4 Tall Cabinets Total
- \$1,340 Each
- \$5,360.00 Total Cost (of Finished Product)

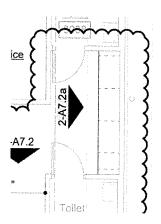
#### \*Installation\*

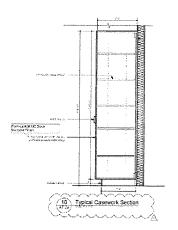
• ½ Day - \$500.00

As long as we can deliver these with other parts of this project no additional compensation will be needed for delivery.

Subtotal: \$5,860.00













GREY INTERIORS, LLC 261 N. Front Street Wilmington, NC 28401 Office: (843) 839-2051

greyinteriors@greyintllc.com

## **PROPOSAL:**

Project: Brunswick County Courthouse Date: 6/23/21

Location: Bolivia NC Plans:

Architect: Sawyer, Sherwood & Assoc. Dated: RFC: 82

RFC.

Description: Per Direction of MCC, Grey Interiors proposes to supply all material, labor and equipment necessary to complete work outlined in RFP 32. This includes; relocating framed walls and installed door frames, installing flat strapping behind new cabinetry, installing grab bars and blocking for hand rails in toilet 3097, patch work, installing new 3032 E door frame, door and hardware, and swapping out door hardware for 3097A. This excludes demo of existing walls, supply of any doors, hardware or grab bars and any door frames other than hollow metal.

Total Base Bid: \$ 5,037.82

<u>Exclusions:</u> After Hours, Nighttime, Overtime, Weekend Work, Dumpsters/Bins or Anything Not Specifically Mentioned in The Above Inclusions.

Respectfully Submitted, Grey Interiors, LLC Michael Shook (910) 470-7020 mshook@greyintllc.com

Project Name
Project Location
Company Making Request

	Brunswick County Courthouse	
	Bolivia NC	
_	MCC	

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RFP 32

Date	•	June 23, 2021	RFC Number	82	
1.		Increase in Labor Costs			\$2,534.00
2.	01040	Increase or Decrease in Labor Burden 40% Labor Burden			\$1,013.60
3.		Increase or Decrease in Material Quantities	and Costs		\$568.26
4.	01234 1250	Travel Lodging			\$0.00 \$0.00
5.	11000	Equipment Rental			\$0.00
6.		Total Lines 1-5.			\$4,115.86
7		Subcontract Fee of 20%			\$823.17
8		Total Lines 6 & 7			\$4,939.04
9	01120	Insurance 2% Fee	,		\$98.78
		TOTAL BASE BID			\$5,037.82
		Owner	Architect	Contractor	
		Date	Date	Date	

PROJECT NAME: Brunswick County Courthouse				C D E \	,		06/23/21
PROJECT	F NUMBER: 2010		( T	r GREY			
PROJECT LOCATION: Bolivia, NC				INTERIOR	S		
				stimate Details			
					TERIALS		MATERIALS
PHASE	ITEM DESCRIPTION	UNITS	QUANTITY	UNIT PRICE	TOTAL	SALES TAX	TOTAL
	5/8" Type X	SF	80	0.43		\$ 2.41	
	5/8" XP	SF		0.55		\$ -	\$ -
	5/8" EXP Sheathing	SF		0.82		\$ -	\$ -
	1" Shaftliner	SF		0.93		\$ -	-
	R-11 Batt Insulation	SF		0.34		\$ -	\$ - \$
	R-19 Batt Insulation	SF		0.47		\$ - \$ -	\$ - \$
	4" Stud, 20ga	LF		1,69 0,96		\$ 2.02	\$ 30.82
	4" Trac, 20ga	LF LF	30 30	2.47		\$ 5.19	
	4" Slotted Slip Trac, 20ga	LF	30	1.63		\$ 5.19	\$ 75.25
	6" Stud, 20ga						
	6" Trac, 20ga	LF		1.62		\$ -	\$ -
	6" Slotted Slip Trac, 20ga	LF		2.16		\$ -	\$ -
	7/8" DWC, 20ga	LF		0.5		\$ -	-
05501	1.5" DWC, 20ga	LF		0.65		\$ -	\$ -
05501	2.5" C-H Studs, 20ga	LF		1.05		\$ -	\$ -
05501	2.5" J Trac, 20ga	LF		0.56	\$ -	\$ -	\$ -
05503	1 1/4" Sharps/SDs	вох	0.18	68.4	\$ 12.31	\$ 0.86	\$ 13.17
05503	10 x3/4" Pan Heads	вох	0.6	112.8	\$ 67.68	\$ 4.74	\$ 72.42
05503	C5 Trak Fast Pins	BOX	1	88.8	\$ 88.80	\$ 6.22	\$ 95.02
09252	Joint Compound All Purpose	PAIL	1	17.94	\$ 17.94	\$ 1.26	\$ 19.20
09252	Durabond	BAG		14.4	\$ -	\$ -	\$ -
09252	Paper Tape	ROLL	1.75	3.3	\$ 5.78	\$ 0.40	\$ 6.18
	Paper Faced Corner Bead	PC	4	3.96	\$ 15.84	\$ 1.11	\$ 16.95
	Equalizer Plus (Lev 5)	PAIL		50.4	\$ -	\$ -	\$ -
	Small Tools/Drill Bits	Each	1.2	65	\$ 78.00	\$ 5.46	\$ 83.46
	Blocking	Each	1	107.44		\$ 7.52	\$ 114.96
	Fireproofing				\$ -	\$ -	\$ -
07200	I nebroomia				MATERIALS TOTAL		TOTAL JOB
TOTALS					\$ 531.09		\$ 568.26
TOTALS					\$ 531.00	17 37.10	7 000,20

	T NAME:	Brunswick County Courthouse			~ n r \	7	06/23/21
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PROJEC	T LOCATION:	Bolivia, NC	]		INTERIORS		
				and the second s	Estimate Detai	ls	
	l					Labor	
Labor	<del></del>	TEM DESCRIPTION	UNITS	QUANTITY	UNIT PRICE	TOTAL	LABOR TOTAL
01040	Foreman		Hours	12	32	\$ 384.00	\$ 384.00
01101	Exterior Labor		Hours		25	\$ -	\$ -
01102	Interior Labor		Hours	64	25	\$ 1,600.00	\$ 1,600.00
01102	Interior Labor		Hours	-2	25	\$ (50.00)	\$ (50.00)
06020	Blocking Labo	r	Hours		25	\$ -	\$ -
	Sheathing Lab		Hours		25	\$ -	\$ -
06604	FRP Cornince	Labor	Hours		25	\$ -	\$ -
07202	Fire Proofing L	_abor	Hours		25	\$ -	\$ -
07923	Air Barrier Lab	oor	Hours		25	\$ -	\$ -
08014	Door/Accesso	ries Install Labor	Hours	24	25	\$ 600.00	\$ 600.00
09257	Shaftwall Labo	or	Hours		25	\$ -	\$ -
09259	Patchwork Lat	oor	Hours		25	\$ -	\$ -
09260	Point Up Labo	г	Hours		25	\$ -	\$ -
10010	Specialties Lal	bor	Hours		25	\$ -	\$ -
10011	Accessories L	abor	Hours		25	\$ -	\$ -
						\$ -	\$ -
						\$ -	\$ -
						\$ -	\$ -
						LABOR TOTAL	TOTAL JOB
TOTALS						\$ 2,534.00	\$ 2,534.00



#### **CHANGE ORDER PROPOSAL**

June 24, 2021

**Monteith Construction** 

Attn: Matt Brittan

**Project:** Brunswick County Courthouse

Proposal #: J1330 -- RFP 32

#### Proposal:

Door 3046D

RFP 32

- Door 3032E Providing new pair of wood doors (flush) and hollow metal frame. (<u>Confirm</u> <u>standard three sided frame and jamb depth required.</u> Providing new hinges, passage lock, and silencers.
- Door-3032D Providing new wood door (flush). A new hollow metal frame and hardware set 38 were provided in original scope.
- Door 3097A Providing new privacy lock.
- Toilet Accessories at Restroom 3097 (Catalog cuts attached)
  - o Grab bar set 18", 36", and 42"
  - o Shower rod, curtain, and hooks (Confirm length is acceptable 42" rod with 48" x 72", and 10 hooks)
  - o Robe hook
  - o Jumbo roll toilet paper dispenser
  - Semi-recessed paper towel dispenser
  - o Chain link mirror 24" x 36"
  - o Surface Mounted waste receptacle
  - Soap Dispenser

Please note that due to the current lead-time of wood doors (17-18 weeks) we have quoted all wood doors as unfinished to be stained in the field. This will allow us to purchase from a quick ship manufacturer. The lead time will be 3-4 weeks.

Total add of \$4,210.00 PLUS TAX (Grand Total: \$4,494.18including 6.75% Sales Tax)

Prepared by: April Little

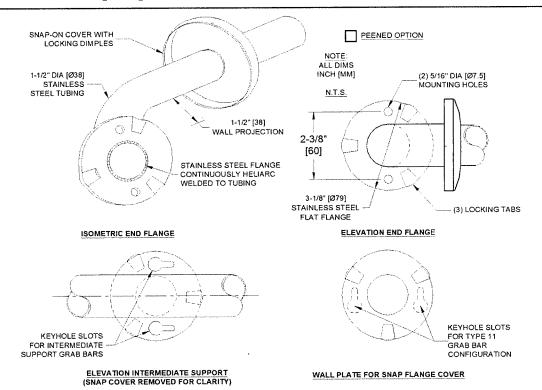
**If accepted, please sign below and return immediated within 15 days. Failure to provide formal change order	
Approved by:	Date:



441 Saw Mill River Road, Yonkers, NY 10701 (914) 476.9000 • (914) 476.0688 www.americanspecialties.com

MODEL №:	3800
ISSUED:	01/87
REVISED:	7 MAR 2017

## 1-1/2" DIAMETER [Ø38] GRAB BAR SERIES WITH SNAP-ON FLANGE COVERS



#### **SPECIFICATION**

1-1/2" Diameter [Ø38] Grab Bar with Snap-On Flange Covers for concealed mounting shall be type 304 stainless steel alloy 18-8. Tubing shall be 1-1/2" diameter [Ø38] x 18 gauge (0.048") [1.2]. Snap-on cover shall be 22 gauge (0.03") [0.8]. Flange shall be 1/8" [3] thick and shall be heliarc welded to tubing with a continuous concealed bead. End flanges shall have two (2) 5/16" diameter [Ø7.5] mounting holes. Center posts (if any) shall have (2) keyhole slots to ease installation access. All exposed surfaces shall have a satin finish and shall be protected during shipment with a plastic bag. For optional non-slip surface add suffix –**P** (peened).

1-1/2" Diameter [Ø38] Grab bar with Snap-On Flange Covers shall be Series № 3800 of American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701- 4913

#### STRENGTH

ASI Grab Bars are designed to meet and exceed ADA requirements as published in CABO/ANSI A117.1 and 2010 ADA Accessibility Standards. Mounting to the wall is a critical part of the system to meet this requirement. To withstand the shear, tension or pullout, and torsion loads generated by the maximum loading, the fastener system must be adequately sized.

#### **INSTALLATION**

Use grab bar as template to mark mounting holes locations and pre-drill holes. Install bar using two (2) № 10 self-tapping pan head screws and flat washers (by others) or other fastener system (by others) to suit conditions for each flange. Appropriate anchoring and backing must be provided in accordance with local building codes or as specified on Architects Plans prior to wall finishing. For compliance with 2010 ADA Accessibility Standards, install unit so that the top of the grab bar is 33" [840] minimum above finished floor (AFF) to 36" [915] maximum AFF. Anchors are available from ASI and must be specified separately for each grab bar style scheduled (see 3900 series).

**Accessory Specialties** 

AMERICAN DISPENSER

Desert Ray Products

WATROUS ...



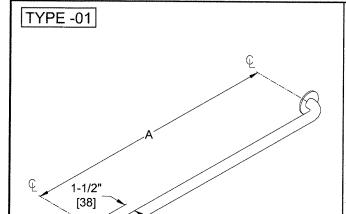
AMERICAN SPECIALTIES, INC. 441 Saw Mill River Road, NY 10701 (914) 476.9000 • (914) 476.0688 www.americanspecialties.com

MODEL №: GRABBAR CONFIG

ISSUED: 09/96

REVISED: 23 FEB 2015

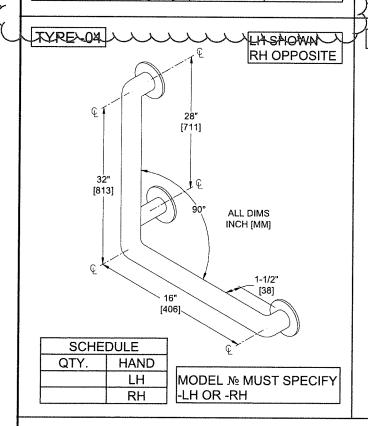
## GRAB BAR CONFIGURATIONS (PG 1 OF 3)



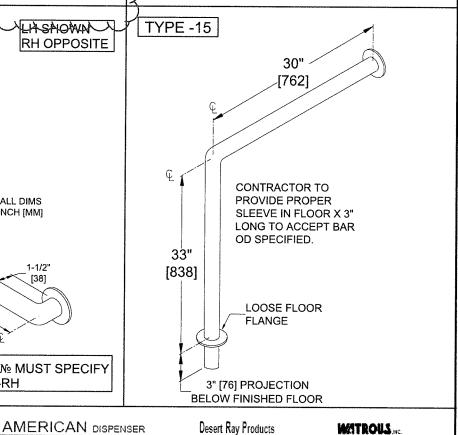
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	SCHEDULE				
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	12" [305]		36" [914]		
	18" [457]		42" [1067]		
	24" [610]		48" [1219]		
	30" [762]				

SC	HEDULE
QTY.	DIM. A
	52" [1321]
	54" [1372]
	60" [1524]
	72" [1829]
	54" [1372] 60" [1524]



**Accessory Specialties** 

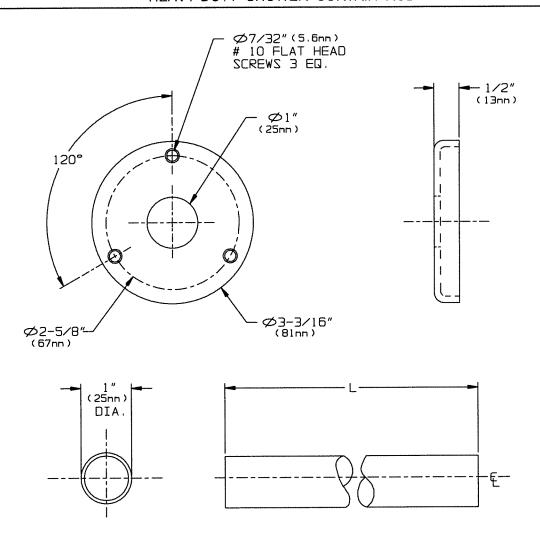




441 Saw Mill River Road, Yonkers, NY 10701 (914) 476-9000

	MODEL No:	1214	
-	ISSUED:	1-87	
	REVISED:	9-04	

#### HEAVY-DUTY SHOWER CURTAIN ROD



#### **SPECIFICATION**

Heavy-Duty Shower Curtain Rod with flanges shall be fabricated of alloy 18-8 stainless steel, type 304. Tubing shall be 20 gauge, 1" dia. with a satin finish and shall be protected during shipment with a plastic bag. Length shall be as specified. Flanges shall be provided with (3) dimpled 13/64" (5.2mm) dia. holes to accept № 10 oval head screws (furnished by others).

Heavy-Duty Shower Curtain Rod with Exposed Mounting Flanges shall be Model № 1214-XXX as manufactured by American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913

#### ORDERING NOTE

Select length in inches (i.e. 048, 060, 120) to create Part Spec Order Number (i.e. 1214-060).

#### INSTALLATION

Rod is installed in straight section between two (2) mounting flanges. Rods longer than 72" (1829mm) require ceiling hanger Model  $N^2$  1224-C18. For use with standard shower curtain model  $N^2$ 's 1200 or 1200-V having 72" (1829mm) length and standard hooks (Model  $N^2$  1200-SHU) unit should be installed with rod centerline 74-1/2" (1892mm) AFF or 67" (1702mm) above tub rim to obtain 6" (152mm) bottom overlap.

**Accessory Specialties** 

AMERICAN DISPENSER

Desert Ray Products

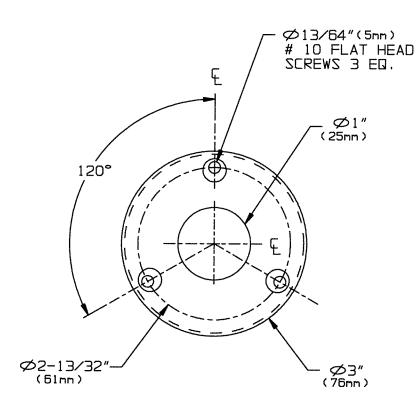
WATROUS,ING.

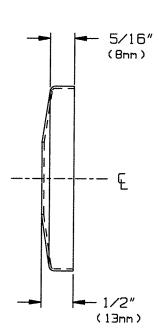


441 Saw Mill River Road, Yonkers, NY 10701 (914) 476-9000

MODEL No:	1214-1	
ISSUED:	5-05	
REVISED:		

#### HEAVY-DUTY SHOWER CURTAIN ROD FLANGES





#### **SPECIFICATION**

Heavy-Duty Shower Curtain Rod Flanges shall be fabricated of alloy 18-8 stainless steel, type 304, 20 gauge. Flanges shall be provided with (3) dimpled 13/64" (5.2mm) dia. holes to accept No 10 oval head screws (furnished by others). For 1" O.D. shower curtain rod stainless steel x 18 gauge.

Heavy-Duty Shower Curtain Rod Flanges shall be Model № 1214-1 as manufactured by American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913

#### **INSTALLATION**

Rod is installed in straight section between two (2) mounting flanges. Rods longer than 72" (1829mm) require ceiling hanger Model  $N^{\circ}$  1224-C18. For use with standard shower curtain model  $N^{\circ}$ 's 1200 or 1200-V having 72" (1829mm) length and standard hooks (Model  $N^{\circ}$ 1200-SHU) unit should be installed with rod centerline 74-1/2" (1892mm) AFF or 67" (1702mm) above tub rim to obtain 6" (152mm) bottom overlap.

**Accessory Specialties** 

AMERICAN DISPENSER

Desert Ray Products

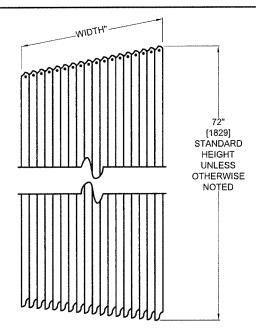
WATROUS,INC.



441 Saw Mill River Road, Yonkers, NY 10701 (914) 476.9000 • (914) 476.0688 www.americanspecialties.com

MODEL №:	1200-V
ISSUED:	01-87
REVISED:	03 JUN 2019

#### **VINYL SHOWER CURTAIN**



NOTE:
ALL DIM'S INCH [MM]
ILLUSTRATION FOR REF ONLY AND NTS

#### **SPECIFICATION**

Shower Curtain shall be fabricated of .00825" [0,21] thick PVC sheet treated with a broad spectrum antimicrobial agent to inhibit the growth of fungal, bacterial and algal organisms. Protection agents shall remain in effect after repeated low-temperature mild soap washing and air-drying cycles. Top hem shall be 1-1/2" [38] wide, backing reinforced and heat-sealed above and below grommet row. Bottom hem and vertical edges shall be plain edge. Clear anodized aluminum grommets with 3/8" inside diameter [ $\emptyset$ 9,5] shall be machined into top hem at 6-1/2"  $\pm 1/2$ " [165  $\pm$  13] intervals on centers starting at 1-1/4"  $\pm 1/4$ " [32  $\pm$  6] from edges. Color shall be white. Pattern is San Suede Pebble Emboss No SS9700. Effective inhibition has been demonstrated via testing in accordance with ASTM G2190, ASTM E1428 and AATCC Test Method 147-1998.

Vinyl Shower Curtain shall be Model № 1200-Vxx (specify size per chart) of American Specialties, Inc., Yonkers, NY 10701-4913

#### INSTALLATION

For openings up to 42" [1067] wide curtains should be specified an additional 6" [152] wider than opening and 12" [305] wider for openings exceeding 42" [1067]. Shower curtain should be attached with hooks (not provided, order separately) to rod (not provided, order separately). Curtain hooks Model № 1200-SHU are recommended.

SIZE SPECIFICATION						
OPENING	XX	OPENING	XX	OPENING	XX	
30" [762]	36" [914]	42" [1067]	48" [1219]	60" [1524]	72" [1829]	
36" [914]	42" [1067]	48" [1219]	60" [1524]	72" [1829]	84" [2134]	

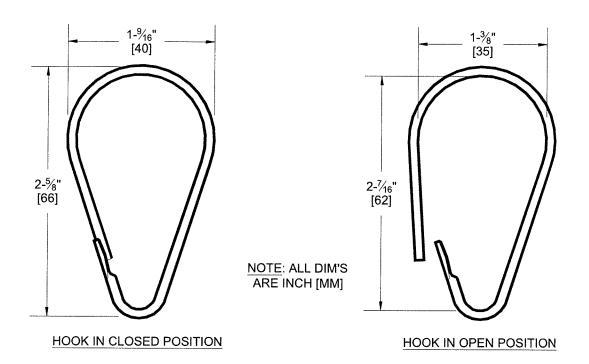
HOOKS COUNT (1200-SHU SUGGESTED) REQUIRED						
CURTAIN WIDTH HOOK COUNT CURTAIN WIDTH HOOK COUNT CURTAIN WIDTH					HOOK COUNT	
36" [914]	6	48" [1219]	8	72" [1829]	12	
42" [1067]	7	60" [1524]	10	84" [2134]	14	



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MODEL No:	1200-SHU		
ISSUED:	01-87		
REVISED:	01-08		

#### STAINLESS STEEL SHOWER CURTAIN HOOK



#### **SPECIFICATION**

Shower Curtain Hook shall be fabricated of type 304 stainless steel alloy 18-8. Solid formed wire shall be .098" diameter ( $\emptyset$ 2.5) with a bright finish. Hook shall have a formed retainer to hold free end closed and shall accommodate 1" to 1-1/4" diameter ( $\emptyset$ 25 to  $\emptyset$ 32) curtain rods.

Stainless Steel Shower Curtain Hook shall be Model № 1200-SHU of American Specialties, Inc., Yonkers, NY 10701-4913

#### INSTALLATION

Open hook and slip over shower curtain rod (specified separately). Hang shower curtain (specified separately) on small hook. Close hook free end into retainer on hook end.

#### **OPERATION**

Grasping hook in both hands, use the thumb of one hand to push the hanger hook in and to one side. Release thumb pressure allowing top hook to bypass and extend over the bottom hook. Slip the hook over the shower curtain rod (specified separately). After hanging shower curtain (specified separately) use thumb pressure to replace the free leg of the hook onto the bottom hook leg-retainer.

**Accessory Specialties** 

AMERICAN DISPENSER

Desert Ray Products

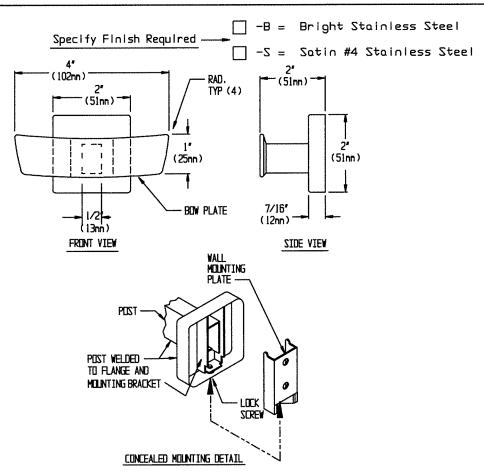
WATROUS,INC.



441 Saw Mill River Road, Yonkers, NY 10701 (914) 476-9000 www.americanspecialties.com

MODEL No:	7345	
ISSUED:	1-87	
REVISED:	1-06	

#### DOUBLE ROBE HOOK



#### SPECIFICATION

Double Robe Hook shall be fabricated of stainless steel alloy 18-8, type 304. Post shall be 1/2" x 1" (13mm x 25mm) rectangular tubing with formed mounting flange and bracket welded on end. Bow plate shall be 14 gauge, 4" x 1" (102mm x 25mm) with radiused corners and internally welded to outer end. Mounting plate shall be included and shall be 18 gauge. A stainless steel setscrew shall be provided on bottom perimeter of flange to lock unit to mounting plate. Surface finish shall be bright or satin as chosen by option and indicated by code suffix.

Double Robe Hook shall be Model № 7345-B or № 7345-S of American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913

#### INSTALLATION

Surface mount unit on door back or wall using № 10 self tapping screws (by others) through holes provided in mounting plate into suitable prepared mountings (by others) or other suitable mounting hardware (by others) to suit door or wall conditions. Hang post and flange assembly on mounting plate and tighten setscrew to lock unit to plate. For compliance with ICC/ANSI A-117.1-2003 and ADA Accessibility Guidelines install unit with top of hook 48" (1219mm) maximum above finished floor (MAX AFF) if clear floor forward reach or if clear floor side reach access only is provided or 46" (1168mm) MAX AFF if side reach access over an obstruction (e.g. vanity) with reach depth greater than 10" (254mm) and less than 25" (635mm) is only provided or 44" (1118mm) MAX AFF if forward reach over an obstruction with reach depth greater than 20" (508mm) and less than 25" (635mm) is only provided. For general utility install hook with centerline of mounting plate 68" (1727mm) AFF.

#### **OPERATION**

Hook is suitable for robes or clothing and small carry bags.

**Accessory Specialties** 

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MODEL №:	0042
ISSUED:	01-87
REVISED:	18 JUL 2019

#### SURFACE MOUNTED JUMBO-ROLL TOILET PAPER DISPENSER

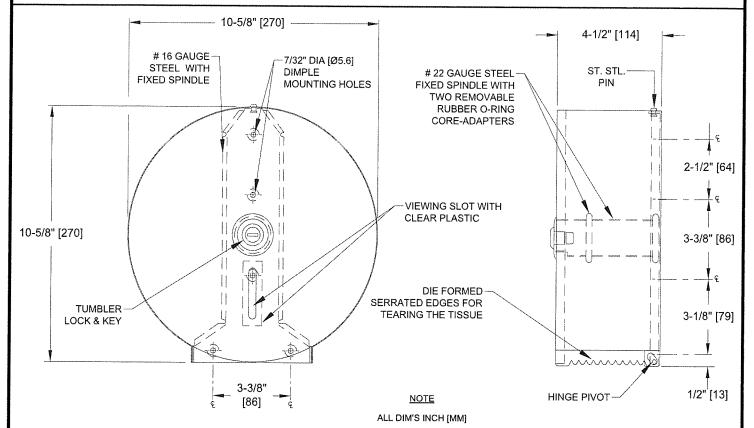


ILLUSTRATION FOR REF ONLY AND NTS

FOR CLEANING INSTRUCTIONS SEE APPROPRIATE SECTIONS IN PRODUCT CARE & MAINTENANCE BULLETIN (PCM) ON ASI WEBSITE

#### **SPECIFICATION**

Surface Mounted Jumbo-Roll Toilet Paper Dispenser shall hold one (1) roll up to 10" Dia [Ø254] with 1-5/8" Dia [Ø41.3] core or 2-1/4" Dia [Ø57] core. Cover shall be 22 gage type 304 Stainless Steel alloy 18-8 with a satin finish. Rear of cabinet shall have five (5) mounting holes to suit № 8 or № 10 flat head screws. Cover shall be of one piece construction hung on stainless steel pin hinges and shall be held closed by a tumbler lock keyed to other ASI washroom equipment with key provided. A viewing slot with clear plastic window shall be provided. Unit shall accommodate smaller core size roll by removing the rubber core adapter O-rings. Opening on bottom of cabinet shall have stainless steel teeth for toilet tissue tearing on both sides. Cover at top shall have shoulder pin to interlock back plate when closed.

Surface Mounted Jumbo-Roll Toilet Paper Dispenser shall be Model N 0042 of American Specialties, Inc., 441 Saw Mill River Road, Yonkers, NY 10701-4913

#### INSTALLATION

For general utility surface mount unit within 12" [305] of front of toilet from center line and 31" [787] above finished floor (AFF) from bottom of unit with five (5) screws (by others) through mounting holes provided. For compliance with 2010 ADA Accessibility Standards and ABA Standards 2015, install unit so that center line of dispenser is 7" [178] min to 9" [229] max in front of toilet and dispenser outlet is 15" [381] min AFF to 48" [1219] max AFF.

#### **OPERATION**

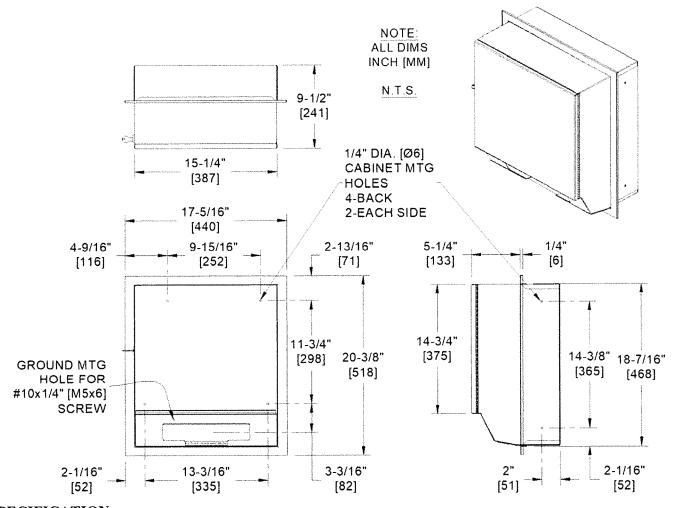
One (1) 10" [Ø254] OD jumbo roll of toilet paper is mounted over 2-1/4" [Ø57] ID core adapter. One roll with (1) 1-5/8" [Ø41.3] ID core may be used by removing the rubber core adapter rings. Viewing slot continuously reveals tissue level. Key locked cover prevents unauthorized access or removal. Roll is replaced on a cycle determined by maintenance needs.



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MODEL №:	68523A-4
ISSUED:	2/2017
REVISED:	13 FEB 2018

#### SEMI-RECESSED AUTOMATIC ROLL PAPER TOWEL DISPENSER (PAGE 1 OF 2)



#### **SPECIFICATION**

Semi-Recessed Automatic Roll Paper Towel Dispenser shall hold and dispense one 8" wide x 8" diameter [203 x Ø203] standard towel roll up to 800 ft. [244m] long and one 8" wide [203] stub roll up to 3-1/2" diameter [Ø89]. Automatic Touchless Roll Towel Dispenser shall be powered by four (4) D-size batteries (not supplied) and shall operate automatically to activate towel dispensing when hands are placed in sensor zone. At each activation, unit shall feed out a length of towel selected by owner by setting length, delay and paper saver switches. Unit shall have an internal towel cut-off bar. Cabinet sides and frame shall be 22 gauge type 304 stainless steel alloy 18-8. Cabinet back and towel apron shall be 18 gauge same grade. Towel dispenser door shall be 18 gauge same grade and shall have a full return and formed sill at bottom edge for user safety. All exposed surfaces shall have satin finish protected by PVC film easily removed after installation. Door shall be attached to cabinet at side with a full-length 3/16" diameter [Ø4.8] stainless steel multi-staked piano hinge and shall be held closed with a tumbler lock keyed alike to other ASI washroom equipment. Structural assembly of all components shall be of welded construction. Cabinet shall have no exposed fastening devices or spot-welded seams. Clear hole is provided for #10 (M5) self-threading screw (by others) for mechanism ground wire connection by ring terminal provided on wire.

Semi-Recessed Automatic Roll Paper Towel Dispenser shall be Model № 68523A-4 as manufactured by American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913



441 Saw Mill River Road, Yonkers, NY 10701 (914) 476.9000 • (914) 476.0688 www.americanspecialties.com

MODEL №:	68523A-4
ISSUED:	2/2017
REVISED:	

### SEMI-RECESSED AUTOMATIC ROLL PAPER TOWEL DISPENSER (PAGE 2 OF 2)

#### **INSTALLATION**

Provide adequate in-wall reinforcement (by others) in drywall construction to hold mounted unit in rough wall opening (RWO) after wall is finished. Provide appropriate anchors (by others) to suit wall and field conditions for installation into walls other than new drywall. Mount unit in wall using № 10 or 1/4" (M5 or M6) x 1-1/2" [38] self-tapping pan head screws (by others) or other suitable fasteners (by others) through concealed mounting holes provided in rear wall of cabinet. Alternatively, installer may use concealed mounting holes in side walls of cabinet behind frame. Towel mechanism 8374 is supplied installed. Connect ground wire ring terminal (provided) to housing back hole (provided) with self-threading screw (by others) sized #10x1/4" [M5x6] Philips Pan Head with internal tooth lock washer (by others). For compliance with ICC/ANSI A-117.1-2003 and 2010 ADA Accessibility Standards, install unit so that top edge of towel dispenser opening is 48" [1219] maximum above finished floor (MAX AFF) only if clear floor reach access is provided. Be advised that local codes may require mounting so that top of towel dispenser opening is 40" [1016] MAX AFF (e.g. California UBC/Title 24). For general utility, install unit with top of towel dispenser opening between 49" and 56" [1245 to 1422] AFF.

RWO required is 15-3/8" W x 19" H x 4" D minimum [391 x 483 x 102 minimum]

#### **OPERATION**

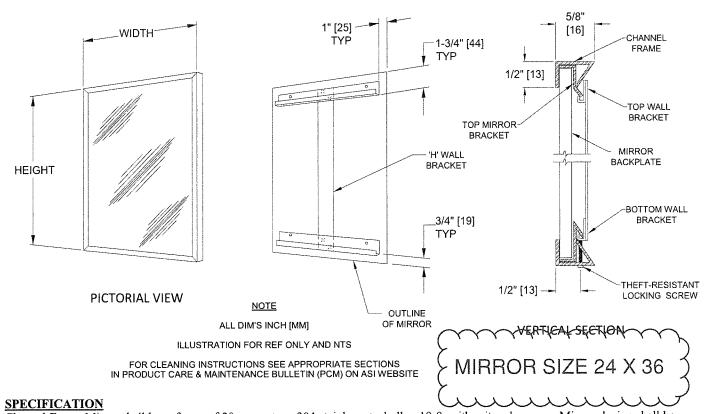
Towels are dispensed one length at a time automatically when hands are placed in sensor zone until supply is depleted. Owner predetermines length of towel dispensed by making selections on three (3) three-position switches for length, delay, and economy. Unit may be reloaded with a full roll to automatically start when finished with an existing partial roll and will continue to feed properly when reloaded with a full roll and partial roll is transferred to stub roll position. Refill dispenser by unlocking door and replacing towel roll for an empty or partially empty unit. Dispenser supply is replenished and batteries are replaced manually on cycles determined by maintenance needs. LED indicates sensing and battery condition. Locking door prevents unauthorized access and roll removal.



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MODEL №:	0620
ISSUED:	01-87
REVISED:	18 JUL 2019

#### CHANNEL FRAME MIRROR



Channel Frame Mirror shall have frame of 20 gauge type 304 stainless steel alloy 18-8, with mitered corners. Mirror glazing shall be (insert glazing option) and shall be warranted for 15 years against silver spoilage. All edges of mirror shall be protected by friction and chafe absorbing fillers. Back of mirror shall be protected by full size shock-absorbing water-resistant filler and full size one piece 20 gauge corrosion protected steel. Top and bottom wall mounting brackets shall be 20 gauge corrosion protected steel and shall be spot welded into "H" hanger. Mirror shall be secured to lower bracket with a Phillips Pan Head locking screw.

Channel Frame Mirror shall be Model № 0620-\_\_\_\_ (insert glazing option)\_\_\_\_\_\_ (note size, W x H) as manufactured by American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913

#### MATERIALS

Frame: 20 gauge type 304, 18-8, stainless steel. Roll-formed one piece construction. Exposed surfaces shall be satin finish. Edges and

corners are burr free.

Glass: Standard glazing is No 1 quality, 1/4" [6,4] thick plate/float, silver coated and hermetically sealed with a uniform copper plating,

and warranted against silver spoilage for 15 years. Mirrors meet Federal Spec DD-M-411C, ASTM C-1503, and ASTM C-1036-

91.

Filler: Expanded polyethylene microcell foam sheet material, abrasion resistant and shock absorbing, water resistant, 1/8" [3,2] total layer

thickness.

#### **FABRICATION NOTE FOR SPECIFICATION**

Mirrors larger than 32sq. Ft. [2.97m<sup>2</sup>] are fabricated in two (2) or more sections to provide installation and handling ease.

#### INSTALLATION

Install "H" wall brackets level and plumb per diagram location using ONLY № 8 or № 10 Pan Head screws (by others). Hang mirror on brackets and tighten locking screw (№ 6-32F x 3/4" Philips Pan Head, supplied separately taped to mirror back) at bottom (note: this screw should be started prior to hanging mirror on wall bracket). For compliance with 2010 ADA Accessibility Standards and ABA Standards 2015, bottom edge of reflecting surface should be no higher than 40" [1016] AFF (Above Finished Floor).

#### **GLAZING OPTIONS**

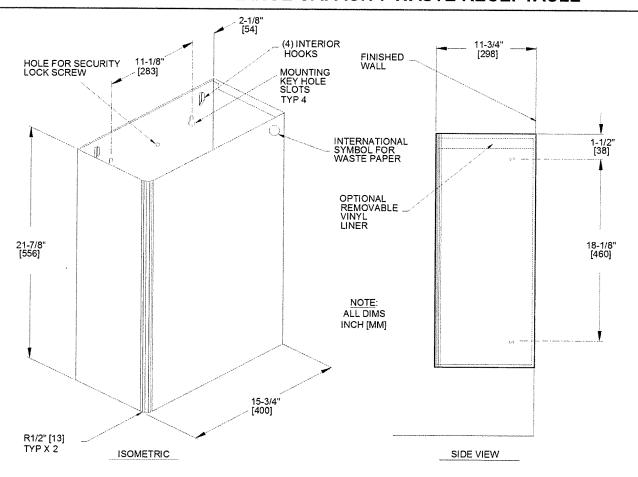
Units are supplied with 1/4" [6] thick plate glass. Other glazing options are available. For a complete description of any other available glazing, see the MIRROR GLAZING OPTIONS chart.



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MODEL №:	0825
ISSUED:	1-87
REVISED:	1 JUN 2015

## SURFACE MOUNTED LARGE CAPACITY WASTE RECEPTACLE



#### **SPECIFICATION**

Surface Mounted Large Capacity Waste Receptacle shall hold 17 gallons [64 liters]. Unit shall be 22 gauge type 304 stainless steel alloy 18-8 with satin finish and be protected during shipment with a PVC film easily removable after installation. Receptacle shall have no exposed fastening devices or spot welded seams and have front vertical edges rounded to 1/2" [13] radius. Receptacle shall have four (4) interior hooks for hanging a reusable heavy gauge vinyl liner bag with grommets (to order replacements specify model 25-PY). Receptacle shall be screw mounted to wall through keyhole slots on back of unit and shall be theft resistant after installation of concealed locking screw.

Surface Mounted Large Capacity Waste Receptacle shall be Model № 0825 as manufactured by American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913

#### INSTALLATION

For general utility, mount the receptacle 16" [406] above finished floor (AFF) from bottom of unit. Hang unit on preinstalled four (4) screws (by others) on wall through the mounting keyhole slots. Install and fasten theft-resistant screw (by others) to wall through top middle hole of receptacle.

#### **OPERATION**

User deposits waste material. Maintenance schedule determines trash removal cycle. Unit is emptied by removing either disposable bag (supplied by others) or reusable liner bag (available separately) to empty into appropriate bulk collection container. Liner bag is washable and reusable and replacements are available should they be required (specify model 25-PY).

**Accessory Specialties** 

AMERICAN DISPENSER

Desert Ray Products

WATROUS.





Dura View, Wall Mounted Manual Dispenser for Kutol Pro & Health Guard 2 Liter, 4 Liter and 4.5 Liter Cartridges, 9909ZPL

Brand: Kutol

- Compatible Refills: All Kutol Pro Heavy Duty and Health Guard 2000 mL, 4000 mL, and 4500 mL Hand Soap, Hand Sanitizer, Shampoo and Moisturizer refills
- Larger capacity means fewer change outs
- One dispenser works for 2 Liter, 4 Liter and 4.5 Liter Refills
- Loads easily, just replace entire cartridge
- ADA push compliant

# —Troposal— Duncan's Paint and Wallpaper, Inc. 5946 Red Hill Rd. • Whiteville North Carolina 28472 Phone: (910) 642-7442 • Cell: (910) 840-9936 • Fax: (910) 642-0117 JOB NAME CITY, STATE, AND ZIP CODE RFP32 ARCHITECT DATE OF PLANS We hereby submit specifications and estimates for: We Propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of: Payment to be made as follows: All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifica-tions involving extra costs will be executed only upon written orders, and will become an Authorized Signature . charge over and above the estimate. All agreements contingent upon strikes, accidents, or Note: This proposal may be delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Acceptance of Proposal - the above prices, specifications and condition are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature\_

Date of Acceptance: \_

Signature\_

withdrawn by us if not accepted within



801 South 16th Street Wilmington, NC 28401 Office: (910) 762-3355 www.standardglass.com (http://www.standardglass.com/)

**COR Subject: RFP 32** 

## Change Order Request

**PROJECT** — Brunswick County Courthouse

**Matt Brittan COR Revision Number: 0 Monteith Construction Corporation** 

208 Princess Street Wilmington, NC 28401

(910) 791 8101

COR Date: 7/12/2021

COR Number: 5

Work Type: Proceed Price / Do Not

Days Valid: 15

**Return To Phillip Conradie** 

**Standard Glass** 801 S 16th Street Wilmington, NC 28401

(910) 762-3355 (910) 616-7764

phillip@standardglass.com

#### Scope Of Work / Time Extension Request

Provide and Install new DW1800A Sliding Transaction window in room 3032B to match rest of installed Sliders. Provide Qty. 2 Borrowed lites in wood doors (1/4" Clear Temp) - Dr. 3032B & Dr. 3046D

#### **Details**

To

Description	Туре	Cost / Rate	Qty / Hrs	Workers	Ext	
Labor Slider	Labor	\$44.94	5.00 <i>Hrs</i>	4.00	\$898.80	
Labor Borrowed Door Lites	Labor	\$44.94	2.00 <i>Hrs</i>	2.00	\$179.76	
3032B & 3046D						
DW1800A Slider	Material	\$2,996.00	1.00 <i>EACH</i>	~	\$2996.00	
1/4" Clear Temp Borrowed Door Lites	Material	\$64.20	2.00 <i>EACH</i>	-	\$128.40	

Breakout

Labor: \$1,078.56

\$161.78 Overhead Percent @ 15%:

> Material: \$3,124.40

Overhead Percent @ 15%:

\$468.66

Total:

\$4,833.40

Signed By:

Phillip Conradie

Manager

Dated: 7/12/2021



**General Contractor:** 

171 Tradition Trail, Suite 207
Holly Springs, NC 27540
P: (919) 762-7366 | F: (919) 762-7693
www.concordiabuilding.com

Date: \_\_

## SUBCONTRACTOR | CHANGE ORDER PROPOSAL FORM

General Contractor: Contract Package:	Brunswick County Court House Monteith Construction Corp. Tile Work Concordia Building Company	************		7/16/2021		C.O. PROPOS  nsion Request: tivity Affected:	AL #: RFP 32 revised
RFP #32	DES	CRIPTION OF C	HANGE		en en		
	se at the front of the shower						
and the particular and the entire that the second s		E destre and the party with the experimental to be two tables with the	materian portante o a bolico	grandpopgger and social protegrands and viction of the space.	n symmetrianich ans navez vier deun n	educe has palement as a state of the Charles on the Charles on the Charles	Norway - Maka - Magazar Aphilitics Architecture and activation
MATERIALS	(Attach List Including: Quantity, Item, U				al \$, Supplier	· Quote )	
1	***************************************	Qty	UP	\$5.25	= Cost	\$520.00	
2	Vendor Sales Tax   7.25%:					\$37.70	
3 4	Freight   Transportation:  Overhead & Profit   Line Item 1   10%:					\$150.00 \$52.24	
4	TOTAL   MATERIALS					<b>732.2</b>	\$759.94
LABOR	(Overhead & Profit: 15% Maximum on S	Straight Labor C	ost, Supe	ervisor Man-H	ours Included	1)	
5 - A	Mechanic: 8	MH   R	late	\$35.00	= Pay	\$280.00	
5 - B	General Laborer: 8	MH   R	late	\$20.00	= Pay	\$160.00	
5 - C	Superintendent: 0	MH   R	Rate	\$0.00	= Pay	\$0.00	
6	Total Labor Cost:					\$440.00	
7	Payroll Taxes   Insurance   30%:	. I 100/.				\$96.00 \$41.60	
8	Overhead & Profit   Line Item 5 - A, B, C	.   10%:				341.00	**************************************
	TOTAL   LABOR						\$577.60
PREPERATION	(Overhead & Profit: 10% Maximum )						
9	Floor   Wall Preperation: mud bed					\$125.00	
10	Waterproofing:					\$50.00	
11	Moisture Testing:					\$0.00	
12	Overhead & Profit   15%:					\$26.25	a the exceptional transfer modern as through the coloring
	TOTAL   PREPERATION						\$201.25
OTHER	(Attach List Including: Quantity, Item, U	Init \$, Unit MH,	Total Mi	H, OT MH, Tot	al \$, Supplier	·Quote )	
13	hotel					\$100.00	
14	Trip Charge:					\$0.00	
15	Overhead & Profit   Line Item 13   10%	:				\$15.00	
N.	TOTAL   OTHER						\$115.00
			-		SUBTOTA	L OF PROPOSAL:	\$1,653.79
16	Bond   % of Subtotal of Proposal   1.5%	6:	and Colores			\$0.00	
				TOTAL OF	C.O. PROPOS	AL ROUNDED:	\$1,654,00
	actor agrees to perform the work as outl nce with the Contract documents so long						
SUBMITTED BY: Concordia Building C	o: Enver Salihu VP	Signature: $\mathcal{E}$	nver Salihi	ı		Date: 7/2/2021	
APPROVED BY:							
CITIONED DI.							

Signature:

From: Marisa Fegley

Sent: Friday, July 16, 2021 8:33 AM

To: Bettina Acosta < bacosta@monteithco.com >; Enver Salihu < enver@concordiabuilding.com >

<steve@concordiabuilding.com>

Subject: RE: Brunswick County Courthouse: RFP 32 Pricing

Bettina,

We have revised the CO2 for RFP32 including a reduction. As for the hotel charge, we don't have any mechanics that live in the area so we will have to come from out of town to do the extra work.

Let me know.

Thank you, Marisa

## **CHANGE PROPOSAL FORM**

-	Brunswick County C	ourthouse	AFP Proposal #		
Contract:	A 11 - 1 - 1 - 1 - 1 - 1 - 1 - 1		•	6/28/20	
Contractor:	Allied Fire Protect	on, Inc.	AFP Job #	:240-C-	-20
Description of cha	nge: RFP 32 Changes				
Scope: Add additor	onal heads with mechanic	al tees to rooms:	Corridor 3031, close	t 3032, office 3032C, To	oilet 3097
work room 3046D					
	mover and drop and repla	ice with new head	d and flex rooms: Jud	ge Asst 3032A	
Update CAD backg	rounds, Current As-Builts	, Shop drawings a	and new permit drawi	ngs	
EXCLUSIONS: Adj	ustments to existing lin	es or main pipin	g.		
No line or main alt	erations appear necess	ary unless curre	nt As-builts are not	accurate	
Materials (Attach	list with Qty, Item, Unit \$	, Unit mh, Total π	nh, OT mh, Total \$)		SUBTOTALS
1. To	otal Direct Cost of Materia	ls		\$391.63	
2. O	verhead & Profit on Item	1. <u>10.000%</u>		\$39.16	
(1	5% maximum, includes si	mall tools & cons	umables)		
3. Sa	ales Tax	7.250%			
	nipping & Transportation				
5. C	ore Drill			\$0.00	\$430.79
Labor					
	nop Hours	6 MH @	\$37.31 /hr.	\$223.86	
	oreman Manhours:	10 MH @	\$44.00 /hr.	\$440.00	
	esigner Manhours:	6 MH @	\$57.30 /hr.	\$343.80	
	tter Manhours:	10 MH @	\$38.19 /hr.	\$381.90	
	elper Manhours:	10 MH @	<b>\$31.21</b> /hr.	\$312.10	
	verhead & Profit on Item		•	<u>\$147.78</u>	
	5% maximum on straight		emium portion)		
,	) & P includes supervisor	•	(May 209/)	\$576.34	
	ayroll Taxes & Insurance	39%	(Max 39%)	\$80.00	
	as (Foreman) Expense(			\$15.00	\$2,520.78
	aily Expense \$15.00 Per l	Jay per Man		\$13.00	\$2,520.10
Equipment Rental		- Dome			
	quipment Rental (1x 26' fo verhead & Profit on Item (			\$0.00	\$0.00
		5. <u>0.000</u> / <sub>0</sub>	-	Ψ0.00	φυ.σσ
Subcontractors	% maximum)	orial & aquinmont	hackup)		
	(Include quotes with mate ubcontractors	enar & equipmen	. backup)	\$0.00	
	verhead & Profit on Item	10. <b>6.000%</b>		\$0.00	\$0.00
	% maximum)	10.	-		
,-	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,			Subtotal of Proposal	\$2,951.57
12. B	onds (% of subtotal of pro	posal) 0.000%			\$0.00
			TOTAL OF	CHANGE PROPOSAL	\$2,952.00
Time	Extension Request: 0	day(s). Schedul	e Activity # Affected:		endress in Claric Constructive Science of Principle Claric Science April Science April Science (Claric Constructive April Science April Scienc
	ees to perform the work o			amount specified above	e and in
	e Contract documents if the		zed by the Owner.		
Contractor's Sign	ature: <u>Mick</u>	ael Godsey_		Date:	6/28/2021
Approval Recomm	nended by Design Cons	ultant:		Date:	
Owner's Represer	ntative Approval:			Date:	

MATERIAL BREAKDOWN	<b>UNIT PRICE</b>	QUANTITY	EXT. COST
Victaulic V2708 Recessed Pendents	\$5.75	9	\$51.75
Victaulic AH-1 Flex	\$26.50	9	\$238.50
1" SCH 40 Pipe	\$3.28	21	\$68.88
1-1/2x1 mech tee	\$6.50	5	\$32.50
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
		Material Total	\$391.63

## RP&E

147 Aberdeen Drive Florence, SC 29501 O: (843) 413-9565 F: (843) 968-8206 Licenses NC #U33501 NC #34655 & SC #M2508



 $m{M}$ echanical $m{E}$ lectrical $m{P}$ lumbing

7-7-2021

Attention: Matthew Britton Subject: BCCH RFP 32

This letter is to provide a *Plumbing* for the above subject project. This pricing is in accordance with the documents, clarifications and/or exclusions below:

Quote based on Prints PD1.2, PD1.3, P1.2, P1.3, and P4.3 Dated 9-23-2019

The following items are *clarifications* to the above referenced review:

- 1. Sales tax is included
- 2. Demo Existing Water closet, Lavatory, and Vent piping as indicated on print on PD1.2
- 3. Demo mop sink and piping as noted on PD1.3
- 4. Make safe piping changes no longer used
- 5. Install new material and fixtures per Print P4.3 detail 7 and 8 per notes 5 and 6
- 6. Insulate as required

Exclude

**Plumbing** bid for the above-mentioned work: \$5133.00

Rivers is pleased to provide a price for the above referenced project. This scope has been prearranged for your use in compiling a comprehensive general contract proposal and to assist in organizing the various prices from other subcontractors. If there are clarifications and/or modifications to the scope, for any portion of this proposal do not hesitate to contact:

Danny Howell at 843-413-9565 ext. 9105 Cell: 843-601-9384 or email danny howell@rpecontracting.com

Respectfully,

Total Price: \$4,587

Danny Howell Project Manager

Danny Hawell

Chris Chance at 843-992-8673 ext. 9501 or email chris.chance@rpecontracting.com Respectfully,

Charleston | Charlotte | Florence | Myrtle Beach | Wilmington Page 1 of 2

# RP&E

147 Aberdeen Drive Florence, SC 29501 O: (843) 413-9565 F: (843) 968-8206



 $m{M}$ echanical $m{E}$ lectrical $m{P}$ lumbing

Chris Chance

## Assistance Project Manager & Service Coordinator

From: Chris Chance < Chris.Chance@rpecontracting.com >

Sent: Wednesday, July 21, 2021 3:36 PM

To: Matthew Brittan <mbrittan@monteithco.com>; Danny Howell, Sr <danny.howell@rpecontracting.com>

Subject: RE: Rivers Plumbing R.1.pdf - Brunswick County Courthouse

I am taking off

4 hrs of labor for demo not being done on the shower in toilet 3097

Bo said that we did remove the sink in office 3096

8 hrs of labor for not moving roof drains

Credit for the shower in toilet 3097

Thank you, Chris Chance Assistant Project Manager/Service Coordinator RPE Contracting, Inc. Mobile: (843) 992-8673

Phone: (843) 413-9565 Ext. 9101 <a href="mailto:chance@rpecontracting.com">chris.chance@rpecontracting.com</a>

www.rpecontracting.com

# PROPOSAL REQUEST FORM

			RIVERS			
Project: Contract:	Brunswick Co		Rivers CO No:  Date:	7/7/2021		
Contractor:	Monteith C 0 0	Construction Co,	Owner: 	0 0		
Description of	Work:					
BCCH RFP 32						
Materials						Subtotals
		materials			\$1,047.00	
	<ol><li>Overh</li></ol>	nead & profit			\$0.00	
	3. Sales	tax			\$0.00	
	4. Shipp	ing and transportatio	n		The state of the s	
						\$1,047.00
Labor						
		man-hours			64	
	6. Labor	and direct cost			\$2,667.45	
		en (Payroll taxes, inst	rance, etc)	***************************************	\$832.00	
	8. Overh	nead and profit			\$524.92	
	•					\$4,024.37
Equipment / T						
		ment rental			\$0.00	
		s tax			\$0.00	
	11. Overh	nead and profit			\$0.00	
						\$0.00
Subcontractor						
	12. Subc	ontractors			\$0.00	
	13. Over	head & profit			\$0.00	
						\$0.00
Subtotal of Pro	oposal					\$5,071.37
Subtotal of 17	opour.					
	14. Bond	ls (1.2% of subtotal o	of proposal)			\$60.87
			1 1 /			
	Total	of Proposal Reque	st			\$5,133.00
	All change of	orders are subject to a	attached Rivers chang	ge order terms		
Contractor's S	lignature:	Danny Hawell		Date:	6/24/2021	
Owner's Signa	aturė:	the state of the s	tong the total and the total a	Date:		

## Correct - Large CO Log.xls

# PROPOSAL REQUEST BREAKDOWN FORM

Rivers

Description:

BBCH RFP 32

0

Rivers CO No: Date:

Project:

0

<u>CO-</u> 00 7/7/2021

004

Labor Ra

Burgen:

Labor Rate:

\$32.50 40.00% 7.00% Subcontract OH+P:

ОН+Р: 5%

Overhead: 10% Profit: 5%

Total O&P: 15%

Labor	Reg	O/T
Worksheet Labor	-	
Demo	16	
Make Safe	16	
Installation R/I	16	,
Install fixtures	8	
Insulation	8	

Unit	Material	Price	Extended
1	Misc Piping parts	\$253.00	\$253.00
1	Lav-1	\$393.00	\$393.00
1	WC-1	\$202.00	\$202.00
1	insulation	\$199.00	\$199.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
			\$0.00
	병사 그 없다 그렇지?		\$0.00
			\$0.00

Unit	Tools/Equipment/Rental	Price	Extended
			\$0.00
			\$0.00
			\$0.00
			\$0.00
	에 마을 다른 바쁜 어디에 없다.		\$0.00
			\$0.00
Unit	Subcontractor	Price	Extended
			\$0.00
	음물과 일본가 되는 싫으로		\$0.00
5 . Ve			\$0.00
	1. 1 이 기가 되는 것은 그리다는		\$0.00
			\$0.00
	기름을 가는 병하는 일이다.		\$0.00
			\$0.00
	Material Cost		\$1,047.00

Direct Cost	
Truck	\$140.00
Fuel	\$30.00
Travel - Labor	\$0.00
Safety	\$124.80
Foreman - Labor	\$234.42
Tool Expense	\$50.23
Waste Management	\$0.00
Disposables	\$0.00
Fasteners	\$8.00

Labor	
Total Labor Hours-Regular	64
Total Labor Hours-Overtime	-
Labor - Extended	\$2,080.00
Burden	\$832.00
Overhead & Profit	\$436.80
Total	\$3,348.80

	\$0.00
Material Cost	\$1,047.00
Equipment Rental	\$0.00
Direct Cost	\$587.45
Labor Cost with Burden	\$3,348.80
Subcontractors	\$0.00

\$0.00

28-Jun-21 **Monteith Construction** To:

Matt Brittain Attn:

**Brunswick County Courthouse** Electrical Re:

Addition & Renovation

**TA Woods Company** From:

Mechanical/Electrical Contractors
RFP-32 Third Floor Revisions ECPR-42

Provide and install boxes, MC cable, data stubs to above ceiling, fire alarm devices, relocated light fixtures as noted on the revised drawings in RFP-32 for the third floor

	1	Materials	\$	654.00	
	2	Company Owned Equipment and/or Rental	\$	28.13	see attachment
	3	Expendables	\$	13.65	(.35 cents per man-hour)
	4	Subtotal	*	695.78	
	5	Sales Tax	\$	45.78	7.00%
۹.		Direct Cost Subtotal	\$	741.56	
					Man-Hours
	6	Journeyman / Mechanic	\$	1,054.00	34.00
	7	Crew Foreman	\$	170.00	5.00
	8	Subtotal	\$	1,224.00	
	9	Safety 1st - productivity burden	\$	24.48	(2% of labor)
	10	Labor Taxes, Insurance and Fringe Benefits	\$	489.60	40%
в.		Labor Cost Subtotal	\$	1,738.08	
	11	Total Cost (A+B)		\$2,479.64	
	12	Field & Office General Administrative Cost		\$371.95	15%
	13	Subtotal		\$2,851.58	
	14	Profit		\$142.58	5%
c.		T.A. Woods Total Change		\$2,994.16	
					Subcontractors
	15				
	16	FA Revisions		\$593.38	BFPE
	17			\$0.00	
	18			\$0.00	
	19	Subcontractor Subtotal		\$593.38	
	20	Profit		\$89.01	15%
D.		Subcontractors Total Change		\$682.39	
E		BOND	\$	46.32	1.269
F.	T	TOTAL CHANGE (C+D)	num midrand	\$3,723.00	24.0%.060%.000%.000%.000%.000%.000%.000%.

Due to fluctuations in commodity pricing and scheduling pricing only valid for 5 days Extension of time requested: 6 work days.

		6/28/2021
Pete Browne, Electrical Project Manager	Date	

## **Brunswick County Courthouse**

ECPR-42

RFP-32 Third Floor Revisions

		Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equip
:	SCOPE							
1	1" EMT conduit, fittings, supprots	90	LF	\$2.66	\$239.00	0.144	13.00	
2	Boxes, supports, plaster rings, devices, cove	16	Ea	\$17.81	\$285.00	0.688	11.00	
3	12/2 MC cable, connectors, supports	130	LF	\$1.00	\$130.00	0.054		
	, , , , , , , , , , , , , , , , , , , ,		<u>-</u> .	ψ1.00	Ψ100.00	0.004	7.00	
4	Demo	1	LS	\$0.00		3.000	3.00	
5			LF	#DIV/0!		#DIV/0!		
6			E	#DIV/0!		#DIV/0!		
7			LF	#DIV/0!		#DIV/0!		
8			LS	#DIV/0!		#DIV/0!		
9								
10_							*****	
	Sub Totals				\$654.00		34.00	0.00
L	MISC Labels - Phenolic Sub Totals		Each		\$ - \$ -			
12 [	Direct Supervision (Crew Foreman)	(	) LS			4.86	5.00	\$28.13
	Just in Time Placement & Handling"							
L	oading & Unloading -	(	) lbs			0.030	0.00	
ı	oading & Unloading - Roof	(	) lbs			0.040	0.00	
	Materials Handling - Lull	,	LS			0.040	0.00	
	Sub Totals		<u> </u>				0.00	28.13
tux		*****************					0.00	20.13
14 F	Rentals		Weekly					
			\$75.00					\$0.00
Е	Excavator		\$600.00					\$0.00
S	Skid Steer		\$265.00					\$0.00
Т	amps		\$225.00					\$0.00
C	Pelivery and P/U		\$200.00					\$0.00
S	ub Total							\$0.00
15 <u>T</u>	otals				\$654.00		34.00	\$28.13

# BFPE International 3300 HWY 421 North Wilmington, NC 28401 910.762.5418

JOB NAME: JOB NUMBER:	DATE
Brunswick County Courthouse	6/29/2021

Requested/Authorized by: TA Woods

Description: RFP 32 show relocated fire alarm smoke detectors by 3rd floor judges assistant room and surronding areas.

30.00				
Qty	PART#	DESCRIPTION	Unit	Total
				\$0.00
				\$0.00
1		Electrical material and wire	\$50.00	\$50.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
		Sub-total equipment		\$50.00
		Add: NC sales tax	6.75%	\$3.38
		Total		\$53.38
LABOR:				
1		Design and admin fee	\$300.00	\$300.00
4	hrs	Labor	\$60.00	\$240.00
		Total Price		\$593.38

Signature of Acceptance: Date:

B 1	
i	
T O	

#### Matt,

See electrical comments below for ARP #117 3rd Floor Revisions.

#### Thanks,

Jenny Williams, AIA



124 Market Street Wilmington, NC 28401 910.762.0892 S2a3.com

From: Mark Ciarrocca < mciarrocca@cheathampa.com >

Sent: Friday, July 16, 2021 12:25 PM To: Jenny Williams < jenny@s2a3.com>

Cc: Ken Lynch < klynch@cheathampa.com >; Casey Gilman < cgilman@cheathampa.com >; Kay Lynch

<office@cheathampa.com</li>
 john sawyer Architect
 john@s2a3.com

Subject: FW: Brunswick County Courthouse - ARP 117

Jenny,

Comments for electrical:

# **Brunswick County Courthouse**

ECPR-42 RFP-32 Third Floor Revisions

Quant Unit M

#### SCOPE

1. Material seems a bit inflated. For discussion, current Home Depot pricing: 10' EMT is \$15 now; \$1.50/ft. Connector is \$1.60ea. Coupling is \$1.60/4 pack. It's kind of difficult to get to \$2.66/ft. Our labor estimate unit is 0.07 hrs / ft; half their proposed unit.

I don't buy from Home Depot, in addition home depot and lowes only adjust their pricing quarterly. I am sure home depot has a 4 pack of cplg for \$1.60 but I am not allowed to use die cast or set screw

1" EMT is currently \$228 a hundred plus the cost of the cplg, conn, straps, screws, etc. as far as labor est. if they can install at that rate through ceiling grid, off ladders and moving up and down in hallways, get me their number, I'll hire them today.

the rate of .07 is a fair rate for running a bunch of conduits on a rack from a lift, but you would still have to include the time to gather materials and build the conduit rack.

- 2. Not unreasonable. your requirement for data outlets is a 5" box not 4 sq. in addition you have added a TVBS613 TV outlet box these are not \$1 each
- 3. MC cable is significantly more what they provided in a proposal last September. \$1.00/ft vs \$0.63/ft. We've seen maybe a 40% increase over that period not 59% proposed. Their labor unit costs are less than what they have proposed previously 0.054 vs 0.667.

MC cable has increased significantly and is now \$.72 per ft plus cost of straps, screws, conn, wire nuts, etc.

#### Regards,

Mark A. Ciarrocca, P.E. Cheatham & Associates, PA | Consulting Engineers 3412 Enterprise Drive, Wilmington, NC 28405

mciarrocca@cheathampa.com • Phone: 910-452-4210 • Mobile: 910-620-0099

From: Jenny Williams < jenny@s2a3.com> Sent: Wednesday, July 14, 2021 12:10 PM

To: Kay Lynch < office@cheathampa.com >; Ken Lynch < klynch@cheathampa.com >; Casey Gilman

<cgilman@cheathampa.com>; Mark Ciarrocca <mciarrocca@cheathampa.com>

Cc: john sawyer Architect < john@s2a3.com > Subject: Brunswick County Courthouse - ARP 117

Good afternoon,

See attached for ARP 117, regarding Brunswick County Courthouse's 3<sup>rd</sup> floor revisions. Please review the fire protection, plumbing, electrical, and mechanical cost proposals and let us know if you have any comments.

#### Thanks,

Jenny Williams, AIA



124 Market Street Wilmington, NC 28401 910.762.0892 \$2g3.com

To:		Monteith Construction			28-Jun-21
Attn	:	Matthew Brittan			20 0411 21
	•				
Re:		Brunswick Courthouse		Г	MECHANICAL
		Addition & Renovation		L.	
Fron	n:	TA Woods Company			
		Mechanical / Electrical Contractors			
MC	PR-20	RFP 32 Drawing Revision # 13			
	a 10 work	rform scope of work on 3rd floor Il pricing and availability we have			
	1	Materials	-	1,183.00	
	2	Company Owned Equipment and/or Rental	\$	90.00	Company Vehicles
	3	Expendables	-	31.50	(.35 cents per man-hour)
	4	Subtotal		1,304.50	
	5	Sales Tax	٠.	82.81	7.00%
A.		Direct Cost Subtotal	\$	1,387.31	
					Man-Hours
	6	Journeyman / Mechanic	\$	1,288.00	46.00
		Shop Fabrication	\$	602.00	28.00
	7	Crew Foreman	\$	544.00	16.00
	8	Subtotal	\$	2,434.00	
	9	Safety 1st - productivity burden	\$	48.68	(2% of labor)
	10	Labor Taxes, Insurance and Fringe Benefits	\$	973.60	40%
B.		Labor Cost Subtotal	\$	3,456.28	
i	11	Total Cost (A+B)		\$4,843,59	
	12	Field & Office General Administrative Cost		\$484.36	10%
	13	Subtotal		\$5,327.95	1070
	14	Profit _		\$266.40	5%
C.		T.A. Woods Total Change	***************************************	\$5,594.35	
					Subcontractors
	15			\$710.00	Insulation
	16			\$0.00	Controls
	17			\$0.00	Test & Balance
	18			\$0.00	Gardner Concrete Cutting

	19	Subcontractor Subtotal	\$710.00		
	20	Profit	\$106.50	15%	
D.		Subcontractors Total Change	\$816.50		
E.		BOND \$	80.78	1.26%	]
F.		TOTAL CHANGE (C+D)	\$6.491.62		7

Due to fluctuations in commodity pricing and scheduling pricing only valid for 10 days Extension of time requested: **21 calendar** days.

			6/28/2021
Casey Matthews	Project Manager	Date	

MCPR-20

RFP 32 Drawing Revision # 13

		Quant		Unit	Material Total	Labor Unit	Labor Hours	Equip
S	COPE			Price	IOIAI	Onit	nouis	
1	Fabrication Duct	70	lbs.	\$1.00	\$70.00	0.400	28.00	
2	Oval Duct Fittings	0	Ea.	#DIV/0!	\$0.00	#DIV/0!	0.00	
3	Installation Ductwork & Branch	70	lbs.	\$3.97	\$278.00	0.343	24.00	
4	Fire Damper & Sleeve, Access Door	0	Ea.	#DIV/0!	\$0.00	#DIV/0!	0.00	
5	Differs & Grilles	6	Ea.	\$135.00	\$810.00	1.333		
6	Demolition 2nd & 3rd Floors	1	Ea.	\$25.00	\$25.00	8.000	8.00	
7								
8								
9								
10_								
S	ub Totals		**************************************		\$1,183.00		68.00	0.00
_								
11 <b>M</b>			0.5-		œ.			
_	Labels - LF/10 = Unit		0 Ea.		\$ - \$ -			
	ub Totals				<del>-</del>			
12 D	irect Supervision (Crew Foreman)		1 LS			22.67	16.00	\$90.00
	300000000000000000000000000000000000000		Wallian 1997					
13 "、	lust in Time Placement & Handling"							
Lo	oading & Unloading -	83	5 lbs.			0.030	6.00	
1.	pading & Unloading - Roof		0 lbs.			0.040	0.00	
	laterials Handling - Lull		LS.			0,0,1	0.00	
-	ub Totals						6.00	
		·····				Militeratura		
14 R	entals		Daily					
V	/elder & Gases		0 \$75.00					\$0.00
Ε	xcavator		0 \$300.00					\$0.00
S	kid Steer		0 \$265.00					\$0.00
	ipe Butt Fusion Machine		0 \$200.00					\$0.00
Р	ipe Socket Fusion Machine		0 \$130.00					\$0.00
s	ub Total							\$0.00
5000	2000 - 100 -							
15 T					\$ 1,183.00		90.00	\$90.00

# SubContractor's Change Order Proposal Cover (Sheet "A") Brunswick Courthouse Addition & Renovation (Form used for 1st, 2nd, 3rd tier subs) Monteith Construction Detailed Scope Of Work: Proposal includes material, labor and equipment cost associated with concrete patches due to plumbing demolition and temporary plastic barriers maintenance for continued cleanliness in occupied spaces. Price excludes full temporary walls pending the start of RFP 32 scope. C.O.R. Total\* \$ 1,735.88

Brunswick Courthouse

Sul	Contractor Summary - (Sheet "B")			
Summary	of SubContractor's Self Performed	Work		
(1.) (= line e. from Sheet "C").	Total Materia	al*   \$	823.88	
(2.) (=Line e. from Sheet "D").	Total Labo	or* \$	912.00	
(3.) (= line e. from Sheet "E").	Total Equipmer	nt*  \$		
	Calf Dayfowned Worls*	T\$	1,735.88	
(4.) ( =lines 1 + 2 + 3)	Self Performed Work*	19	1,733.00	
Summa	ry of other Quoted Work (subcontra	icts)		
(5.) Quote - Subcontractor #1	Quote #1 Total* (without OH&P)	\$	-	
(6.) Quote - Subcontractor #2	Quote #2 Total* (without OH&P)	\$	-	
(7.) Quote - Subcontractor #3	Quote #3 Total* (without OH&P)	\$	•	
(8.) (lines 5 + 6 + 7)	Quoted (subcontract) Work*	\$		
(9.) (on line 8)	8% max) 20 % OH&P	\$	-	
(10.) (lines 8 + 9)	Total - Quoted (subcontract) Work*	\$	-	
(11.) (lines 4 + 10)	Total - Self Performed & Quoted (subcontract) Work* (less bond, ins, &	\$	1,735.88	
(12.) (on line 11.) (if a	pplicable) 0.00% Bond*	\$	-	
(14.) (lines 14 + 16)	C.O.R. Total - All Work* * <u>Do Not</u> Round Off Numbers	\$	1,735.88	

SubContractor Material Break Down - (Sheet "C")													
Material/Item Description	Quan	titv			<b>1</b> F	Price*			Ex	tension*			
		,	Unit		<u> </u>		Unit	۱ ۱					
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Cleaning Sundries	1		LS	@	\$	200.00	•	=	\$	200.00			
emp Partitions/Zip Walls	1		LS	@	\$	375.00		=	\$	375.00			
	+ 14			@			/	=	\$				
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		Ľ	- unividi	1					φ	033.08			
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	1		Total Ma						\$	823.88			
nes a. + b. + c.)	1	ω,	. •		M.				Ψ	025.00			

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Cleaning		8.00	HR	@	\$	25.00	_	=	\$	200.00
Door and Hardware Handling/Offloading			HR	@	\$	35.00		=	\$	70.00
Wood Door and Casework Touchup	_	1.00	LS	@	\$	250.00	_/LS	=.	\$	250.00
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	-									
on line a.	] c.[	20%	:	OF	I&P		\$			114.00
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(No sales tax charge	on contractor own	ed equipm	ent)	Enter 0 on line	c. If co	ntractor owned	c.	(on li	ine a.)	6.75%	5	Sales T	ax	\$	
							d.	·	ne a.)	20%		DH&P		\$	-
							e.	(lines	a. + b. + c. + d.)	Total Equip	ment*			\$	-
				****		· · · · · · · · · · · · · · · · · · ·							* <u>Do</u>	Not Rou	nd Off Numbers

# **Request for Proposal 32**

Third Floor Revisions

June 17, 2021

To: Mr. Matt Brittan

Monteith Construction

208 Princess St

Wilmington, North Carolina 28401

Matt,

Please provide a cost for the changes made to the third floor Judges' Office Suite and room 3097. See ABD17.0, attached, for the selective demolition plan at the Judges' Office Suite and refer to the following revised drawings for the rest of the changes:

#### Architectural:

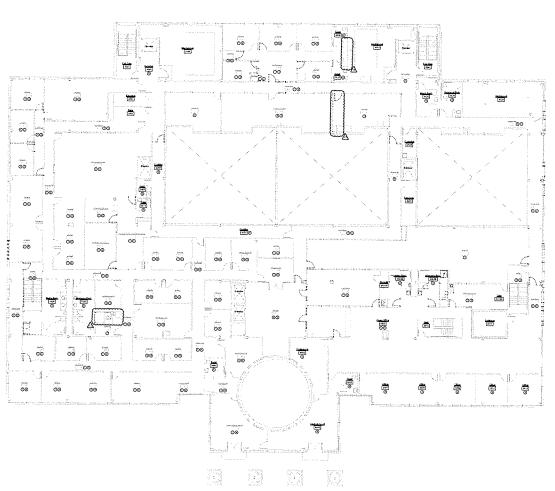
- AD1.2 Third Floor Demolition Plan
- A1.2 Third Floor Plan
- A4.1 Enlarged Restroom Plan
- A6.1 Finish & Door Schedules
- A7.2 Casework Elevations
- A7.2a Casework Elevations & Sections

The following door hardware has been added; refer to revised architectural floor plans for door numbers:

- Door 3032E
  - New Pair of 1'-6" x 7'-0" x 1-3/4" WD x HMF
  - Door Hardware:
    - (1) Passage Latch (Corbin Russwin CL3310 NZD, 626 finish)
    - (3) Hinge (McKinney TA2714 NRP 4-1/2" x 4-1/2", US26D finish)
    - (3) Silencer (Rockwood 608- RKW)
- Door 3032D
  - o New 3'-0" x 7'-0" x 1-3/4" WD x HMF
  - Assign to Bid Hardware Set 38.0
- Door 3097A
  - Existing door, frame and hardware
  - o Change lock type to Privacy Lock (McKinney CL3320 NZD, 626 finish)
  - Verify in field

John R. Sawyer, AIA









Bolivia, NC

Construction Drawings September 23, 2019

REVISIONS:

ADDENDUM 2

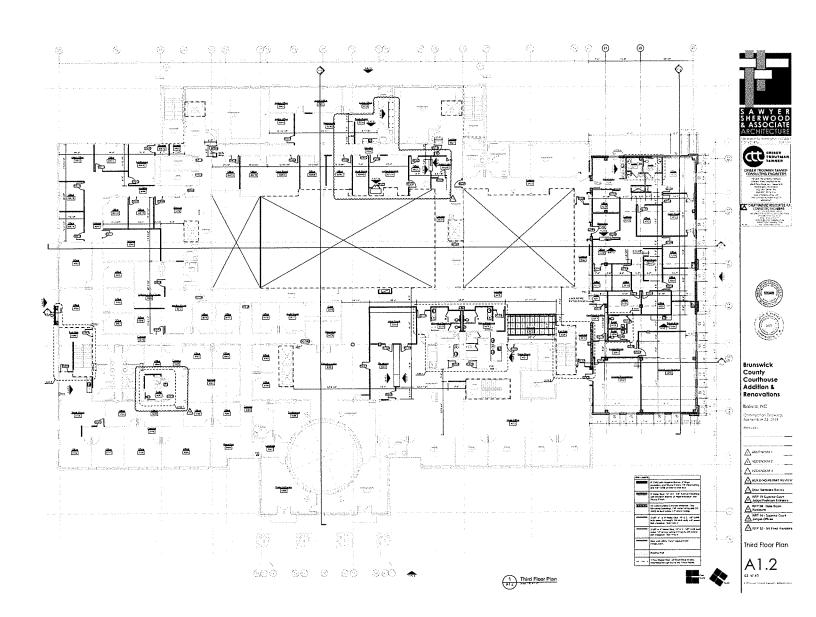
ADDENDUM 4

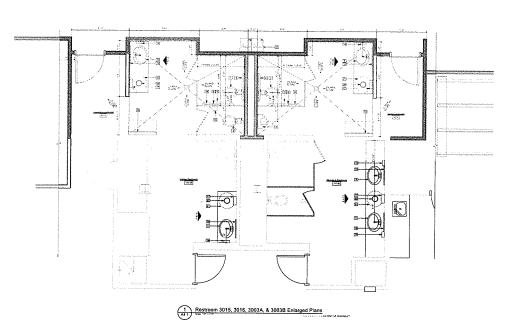
ARP 32 - 3nd Revisions

Third Floor Demolition Plan



















OF COMMENT ASSESSED.



Brunswick
County
Courthouse
Addition &
Renovations

Bolivia, NC

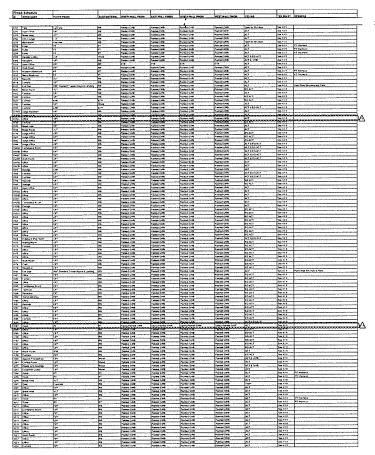
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ARP 22 - and Floor Restracted

Enlarged Restroom Plan

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50004 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	MALES  MA		Aund Aund Aund Aund Aund Aund Aund Aund	ANT CONTROL OF CONTROL		112   122   123   124   125	Links That Links is not any own opposit.  City for Links is wished on whether the company of the

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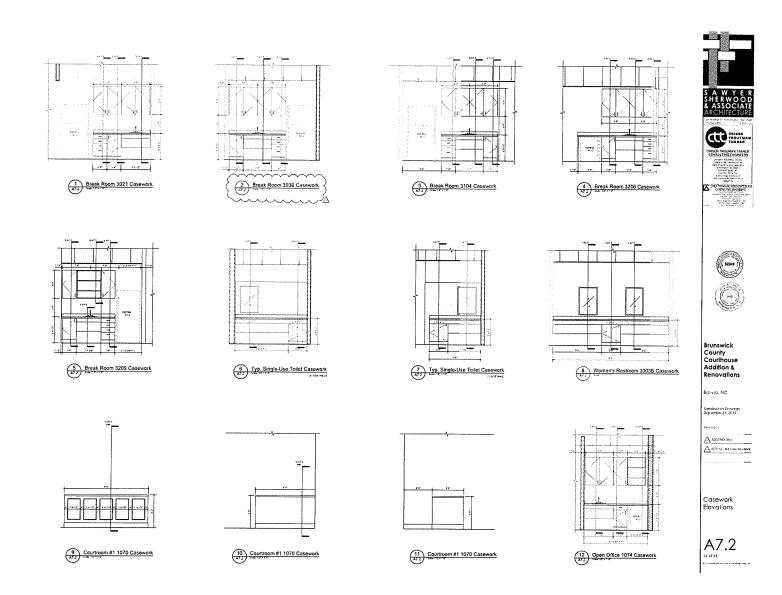


Brunswick County Courthouse Addition & Renovations

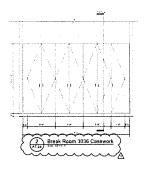
Balvia, NC Construction Drawing September 23, 7012

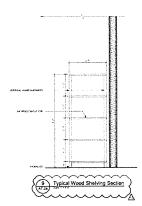
Finish & Door Schedules

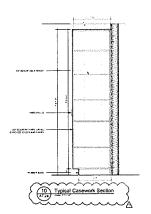
A6.1

















Bolivia, NC

Construction Drawings Suptember 23, 2019

A RFF 32 - 3rd Floor Persona

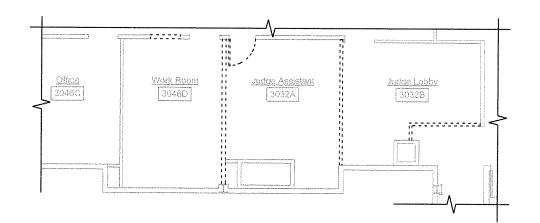
Casework Elevations & Sections

A7.2a

Demolition Legend					
[Section Medical International Section of Section (Section of Section of Sec	Existing to remain				
	Remove wall & wall base				
d o	Remove door, frame & hardware				



124 Market Street Wilmington, NC 28401 910 762-0892 S2a3.com



Current Framing Demo Plan Scale: 1/8" = 1'-0" ABD17.0

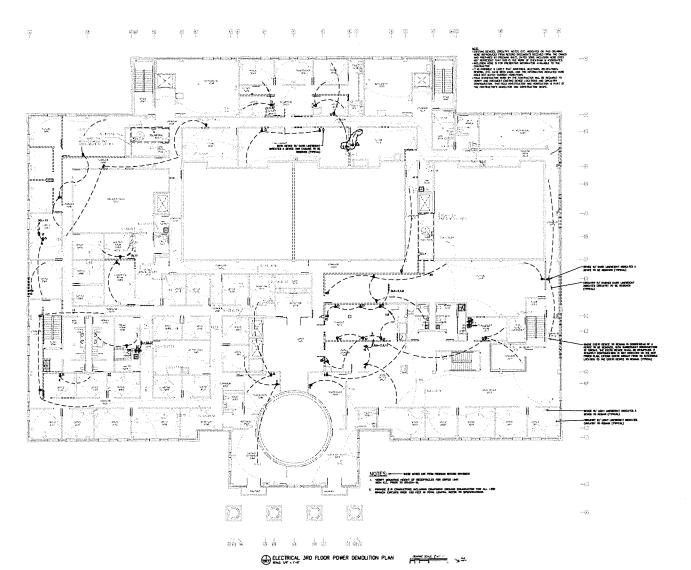
Brunswick County Courthouse Addition & Renovation Bolivia, NC

Revisions:

Third Floor Selective Demolition Plan

June 07, 2021

ABD17.0





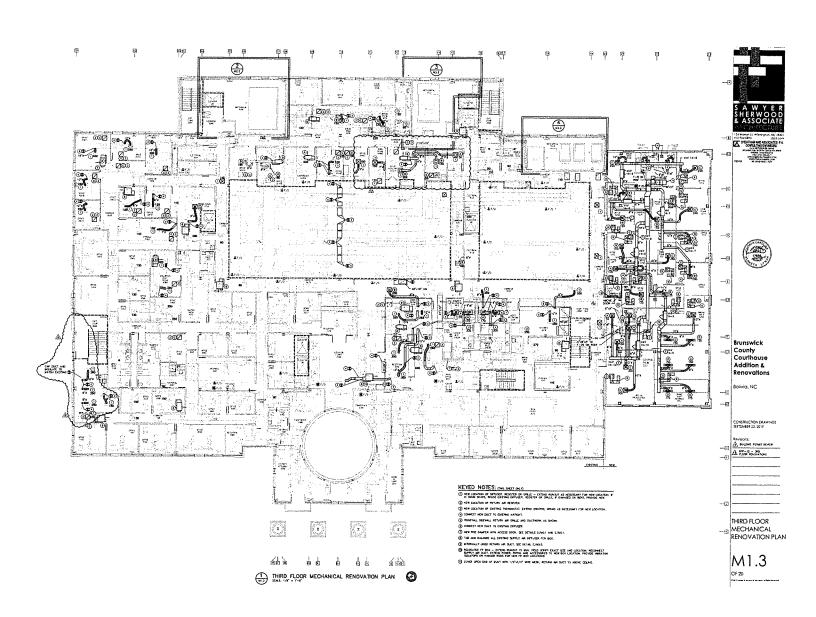
Boivia, NC

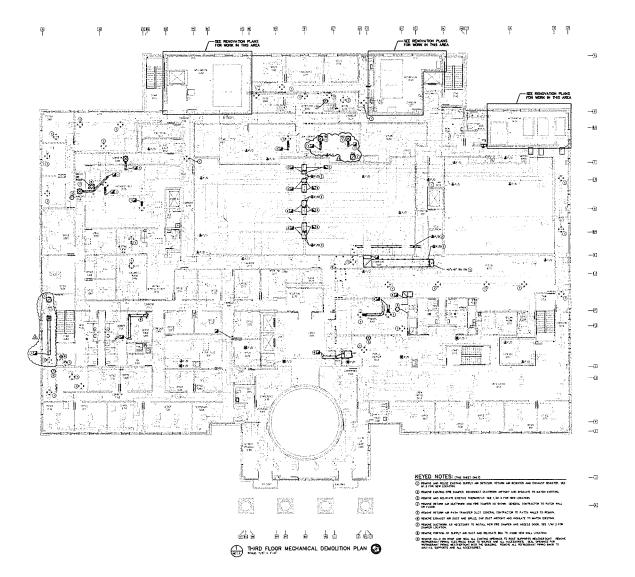
CONSIDUCTION OPAWINGS SEPSEMBLE 23, 2019

A SP-13 - 30 nace st/4/h

ELECTRICAL
3RD FLOOR
POWER
DEMOLITION PLAN

ED1.7









CONSTRUCTION DEAWINGS SEPTEMBER 23 2019

ROWHOUS:

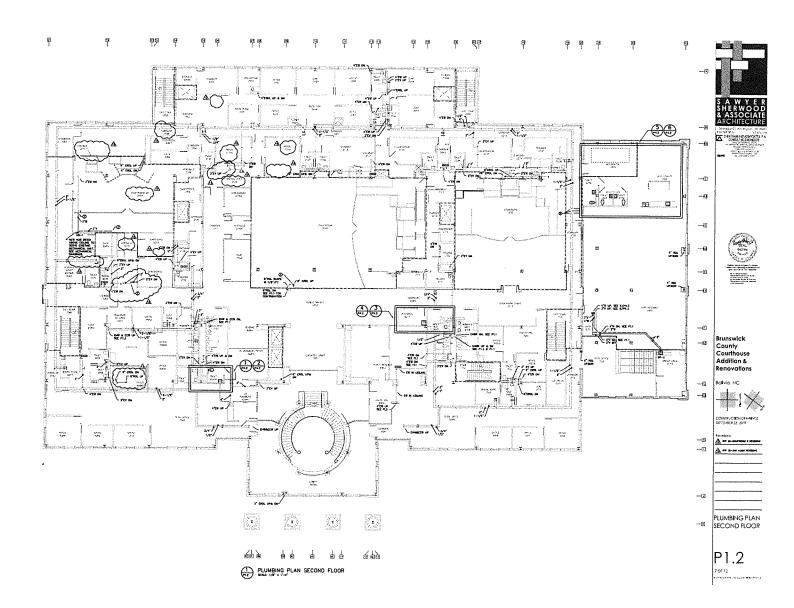
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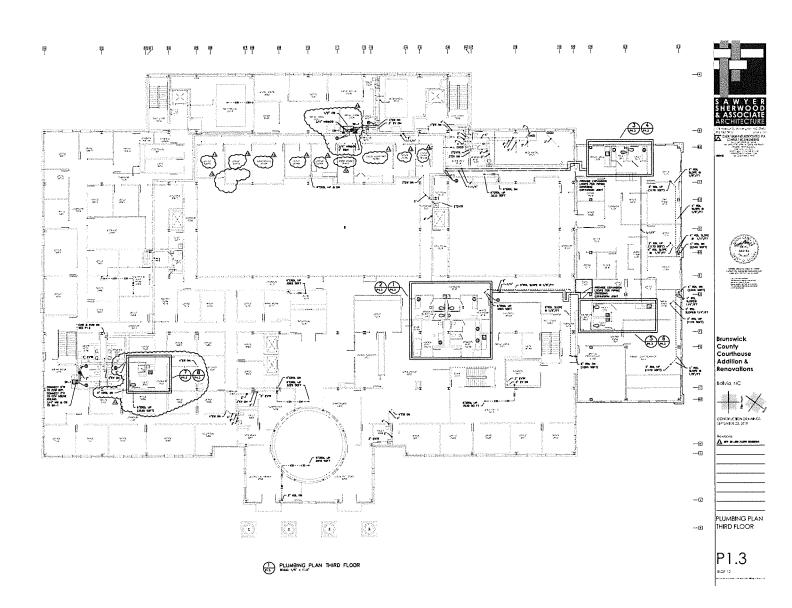
A MP-32 - SMD

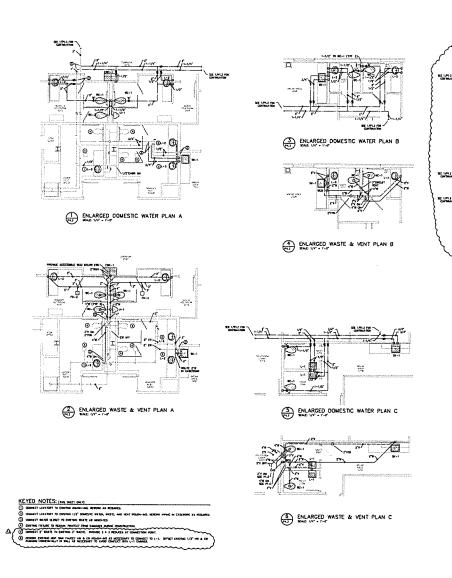
REGULA MENOVADONS

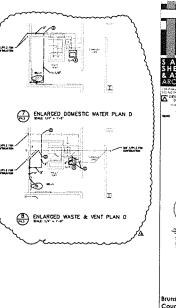
THIRD FLOOR MECHANICAL DEMOLITION PLAN

MD1.3













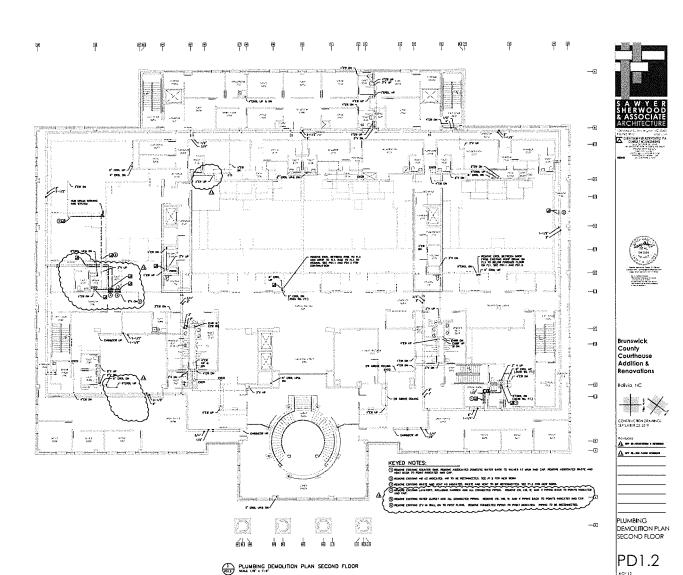
Bolivia, NC

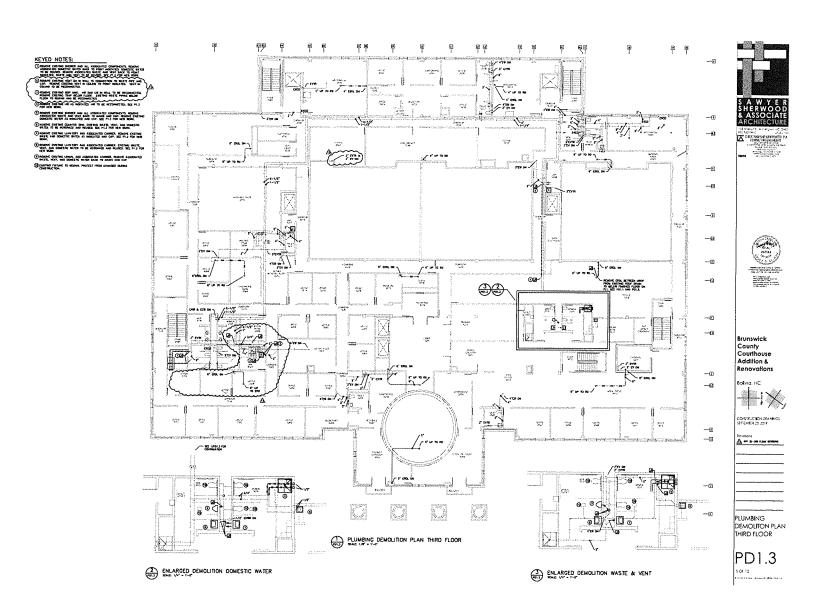
CONSTRUCTION DRAWBIGS DREVER 23, 2017

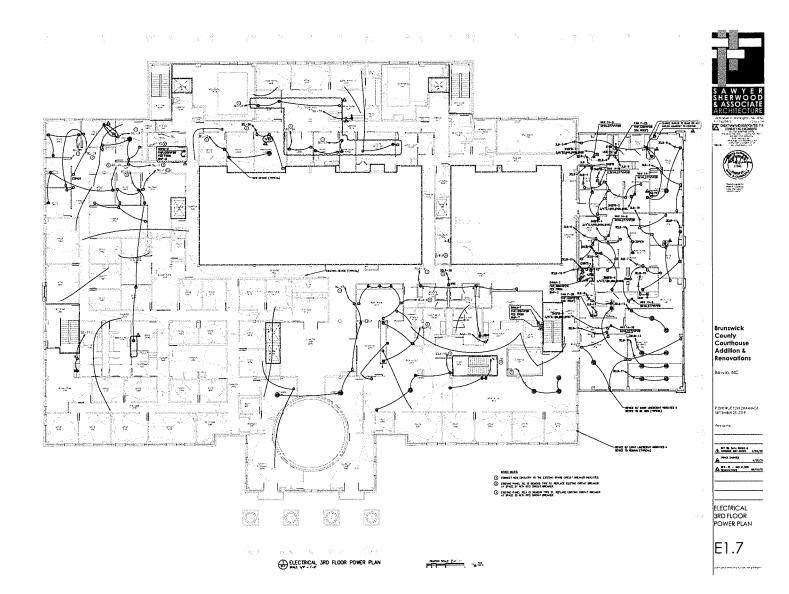
Revisions A are 31-am now strawns

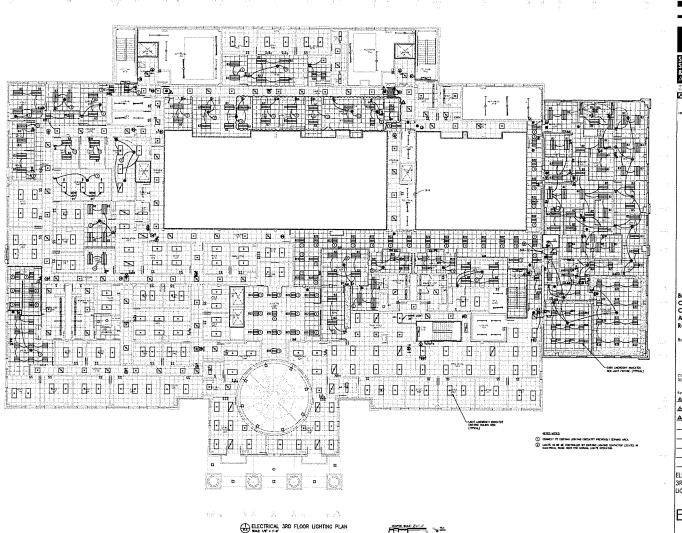
ENLARGED PLUMBING PLANS THIRD FLOOR

P4.3











Brunswick County Courthouse Addition & Renovations

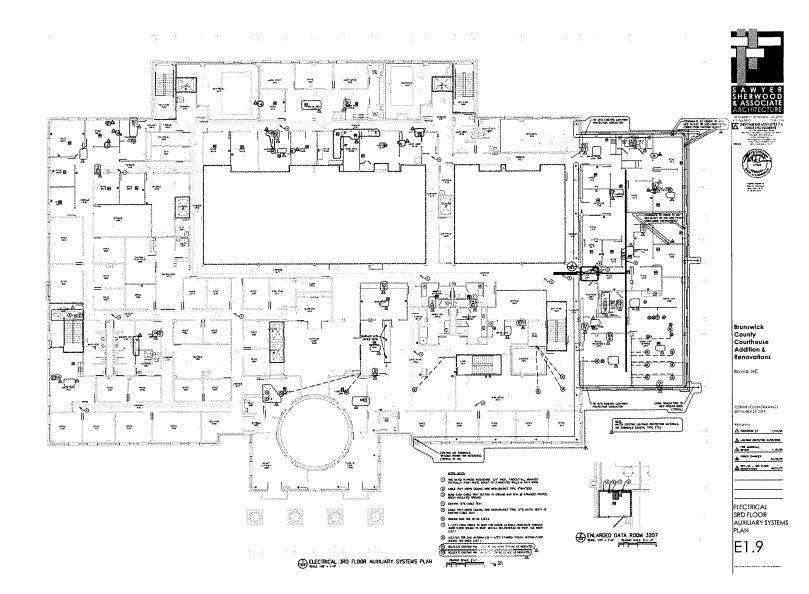
olivia. NC

INSTRUCTION OF AWAYS TEMBER 23, 2019

MAJNE FORM ROLE SAT/SEE LEATHER STREET SAT/SEE

ELECTRICAL 3RD FLOOR LIGHTING PLAN

E1.8



## **Allowance Reduction Proposal**



Date:

208 Princess
Wilmington, NC 28401
P: 910-791-8101
monteithco.com

7.12.21

Owner Acceptance

Project:	Brunswick County Courthouse Addition & Renovations							
Owner Address:	310 Government Center Drive, NE							
	Bolivia, North Carolina 28422							
		ARP #: 128						
Proposal includes all labor, material, and equipment cost associated with refeeding circuitry in Rooms 1063 and 1070 due to demolition of walls where existing feeding conduit was located.								
	Subcontractor		<u>Proposal Total</u>					
	TA Wooods		\$14,334.00					
	N/A		\$0.00					
	N/A		\$0.00					
	N/A		\$0.00					
		TOTAL SUBCONTRACTS	\$14,334.00					
		5% GC FEE	\$716.70					
		TOTAL CHANGE AMOUNT	\$15,050.70					
	,		неска автомовонно сутут мен о 2000 бого образова до 15 година до 15 г					

MONTEITH

CONSTRUCTION CORP.

RALEIGH | WILMINGTON

Sincerely,

Matt Brittan

Matt Brittan

Monteith Acceptance

## TA Woods Response:

## ARP 128:

		Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equ
1	COPE 3/4" EMT conduit, fittings, supports	600	LF	\$1.97	\$1,182.00	0.153	92.00	
2 3	#12 THHN wire, terminations 4sq J boxes, supports, pig tails	5000 8	LF Each	\$0.25 \$17.88	- ***	0.012 0.625		

4 8x8x j boxes, supports, pig tails 3 Each \$45.00 \$135.00 4.000 12.00 Our comment here would be to address the inconsistency of pricing between ARPs for the

same items. See previous review comments today for some examples. We have not been involved to a great degree with the specifics of this one to judge whether quantities are accurate.

as previously stated we price based on material pricing available at the time of pricing

To: **Monteith Construction** 

Matt Brittain Attn:

**Brunswick County Courthouse** Re:

Addition & Renovation

Electrical

07-Jul-21

**TA Woods Company** From:

Mechanical/Electrical Contractors

ECPR-43 **Hidden Junction Boxes** 

We have ensountered multiple 8x8 junction boxes located above ceilings, these boxes feed multiple circuits in various areas. The conduit feeding these boxes is installed below slab and turned up in walls that have been demoed. We will have to refeed each of these circuits in order to allow continued operation of the devices and lighting, on both normal power and emergenchy power.

F. [		TOTAL CHANGE (C+D)		\$14,334.00	THE THE PERSON OF THE PERSON O
E. [		BOND	\$	178.36	1.26%
D.		Subcontractors Total Change		\$0.00	
	20	Profit		\$0.00	15%
1	19	Subcontractor Subtotal		\$0.00	
	18			\$0.00	
	17			\$0.00	
	16				
	15				Gubcontractors
<u> </u>				\$14,155.91	Subcontractors
C.		T.A. Woods Total Change		376	
-	14	Profit		\$674.09	5%
	13	Field & Office General Administrative Cost Subtotal		\$1,758.50 \$13,481.82	15%
	11 12	Total Cost (A+B)	***************************************	\$11,723.32	
В.		Labor Cost Subtotal	\$	8,642.12	
	10	Labor Taxes, Insurance and Fringe Benefits	\$	2,434.40	40%
	9	Safety 1st - productivity burden		121.72	(2% of labor)
	8	Subtotal		6,086.00	
	7	Crew Foreman		816.00	24.00
	6	Journeyman / Mechanic		5,270.00	170.00
_					Man-Hours
Α.	APPENDATE	Direct Cost Subtotal	\$	3,081.20	
ĺ	5	Sales Tax	\$	188.30	7.00%
1	4	Subtotal		2,892.90	(is some per mair inda.)
	3	Expendables		67.90	(.35 cents per man-hour)
	1 2	Materials Company Owned Equipment and/or Rental	\$	2,690.00 135.00	see attachment

Due to fluctuations in commodity pricing and scheduling pricing only valid for 5 days Extension of time requested: 6 work days.

		7/7/2021
Pete Browne, Electrical Project Manager	Date	

## **Brunswick County Courthouse**

ECPR-43

**Hidden Junction Boxes** 

	Quant		Unit Price	Material Total	Labor Unit	Labor Hours	Equip
SCOPE							
1 3/4" EMT conduit, fittings, supports	600	LF	\$1.97	\$1,182.00	0.153	92.00	
2 #12 THHN wire, terminations	5000	LF	\$0.25	\$1,230.00	0.012	61.00	
3 4sq J boxes, supports, pig tails	8	Each	\$17.88	\$143.00	0.625	5.00	
8x8x j boxes, supports, pig tails 5 6 7 8	3	Each LF E LF LS	\$45.00 #DIV/0! #DIV/0! #DIV/0! #DIV/0!	\$135.00	4.000 #DIV/0! #DIV/0! #DIV/0!	12.00	
10			·····				
Sub Totals				\$2,690.00		170.00	0.00
11 MISC Labels - Phenolic Sub Totals		Each		\$ - \$ -			
12 Direct Supervision (Crew Foreman)		0 LS			24.29	24.00	\$135.00
13 "Just in Time Placement & Handling"							
Loading & Unloading -		0 lbs			0.030	0.00	
Loading & Unloading - Roof		0 lbs			0.040	0.00	
Materials Handling - Lull		LS				0.00	
Sub Totals						0.00	135.00
14 Rentals		Weekly					
		\$75.00					\$0.00
Excavator Skid Steer		\$600.00 \$265.00					\$0.00 \$0.00
Skid Steer Tamps		\$265.00					\$0.00
Delivery and P/U		\$200.00					\$0.00
Sub Total							\$0.00
15 Totals				\$2,690.00		170.00	\$135.00





